



Staff Report

PLANNING AND DEVELOPMENT DEPARTMENT

To: Council

From: Phil Armstrong, Dir. of Planning and Development

Subject: Development Variance Permit – the Works

File: 3090-20 Works 2025

Date: September 22, 2026

RECOMMENDATION

THAT Council DIRECT staff to proceed with the Public Notice process for the Development Variance Permit Application (DVP 2026-02) for The Works / 0804482 B.C. Ltd. as per the *Local Government Act* for the property described as Lot 1, Section 13, Township 27, Range 22, West of the 5th Meridian, Nelson Plan 16514 (PID 007-630-174 / 904 10 Street North.)

CAO SUMMARY

This is a standard planning department process for a non-standard proposal, thus a variance is required to allow for the potential development while still meeting the purposes of the subject property's zoning. In this particular case, this would effectively be a renewal of a previously granted variance that expired.

BACKGROUND

David Ratzlaff / 0804482 B.C. Ltd. is proposing to construct a new industrial structure that includes dwelling units above the first industrial storey and has applied for a development variance permit (DVP).

Note a previous DVP was granted by Council in 2021; however, it expired after two years. It was for six units and the current proposal is for five units.

DISCUSSION

The developer is proposing to construct a new industrial structure that includes dwelling units on the secondary storey above the industrial bays. As per the attached drawings, the proposed structure represents an innovative and relatively new type of industrial / mixed use development.

The purpose of the Light Industrial - M2 zone is to *provide for the development of light industry and manufacturing that minimally impacts the surrounding development.*

The M2 Zone permits a wide array of potential light industrial uses as well as the use of "security person dwelling unit," which is a long term residential use (short term rentals are not permitted in this zone).



Potential purchasers or renters will be enabled to have a "live / work" arrangement should they choose to do so or an office on the second storey accessory to the industrial use. Alternatively, a purchaser could rent out the dwelling unit separately from the industrial bay.

Each bay and the dwelling unit above will be one strata lot i.e. one title for a total of five strata lots.

To the north, east and south of the property are structures dedicated to various commercial and industrial uses and to the west are residential lots. The residential component of the development will serve as a good transition from the industrial to residential areas across the street.

In order to maximize the existing lot three variances are proposed to Town of Golden Zoning Bylaw 1294, 2011. Please refer to the enclosed proposed development variance permit 2026-02 and drawings. The proposed variances are described below:

- A. Schedule S *Light Industrial* – M2 zone’s section f) Minimum Yard Setbacks - Principal Building(s) and Accessory Buildings and Structures requires a Front Lot Line setback of 4.5 m:

This variance allows for a reduction of the Front Lot Line setback to 3.0 m.

Analysis: due to the “triple fronting” nature of the lot, and that the shortest property line which abuts a street is deemed to be the front property line, the property line to the north (10th St N) was deemed to be the front property line. In terms of the practical functioning of the site, the “front and rear” property lines actually serve more as side property lines, which have a 3 m setback. Regardless, it is largely a technicality that the variance is needed.

- B. Section 8.7 (1) *Parking Requirements*: General Industrial Use requires 1 parking stall for every 50m² of gross floor area.

This variance allows for 1 parking stall for every 100 m² of General Industrial Use gross floor area.

Analysis: the development’s ground floor is essentially large garage bays, which could be used to park a vehicles but careful attention in site design has occurred to ensure that each strata lot has one outdoor stall that does not interfere with access to the bay. Each strata lot will for all intents and purposes have two stalls. The developer will also be creating some formalized parking along King Place that straddles the property line.

- C. Section 7.4 (1) *Landscape Buffer*: Development adjacent to a residential zone shall have a landscape buffer 3.0m in width (onsite).

This variance allows for a reduction to 1.25 metres in width and it shall be permitted to be located in the boulevard.

Analysis: a perhaps ideal configuration of this development would have had only four units accessed off of King Place, significant landscaping along 9th Ave N (side yard and public frontage) and front yards along 10th St N - in other words the building turned 90 degrees; however this would not have maximized the site as does the presented development proposal. The variance is in regards to the landscape buffers, which can be interrupted by driveways, and this 9th Ave N industrial frontage adjacent to residential is mitigated by a reduced width boulevard landscaping buffer that will be maintained by the development’s strata corporation. Having a narrower landscaping buffer on the boulevard is necessary to allow for safe and efficient vehicle movements on the site.

Lastly, the developer will be adding articulation to the 10th St N frontage and King Place frontage and working on a unified signage plan amongst other remaining development permit details.

Utility capacities

As is standard practice when an application is under consideration, a referral of the proposal is done to assess, as soon as possible, any potential issues from a transportation and utility services capacity standpoint. Of note, this development:

1. Will contribute sewer flow to the 12th Street S lift station and pipes – this development will contribute fees to these works per the Town's [Bylaw No. 1505, 2025, Sanitary Sewer Rates and Regulation](#).
2. The sewer works identified for this development to proceed are detailed in the Town's [Development-Related Offsite-Infrastructure Capital Cost Recovery Guide](#) PDF page 20 (enclosed); and given the Town's design criteria in the *Subdivision and Development Servicing Bylaw 1223, 2008*, Schedule E, Section 2.1, which states “pipes shall be selected so that sewers flow 2/3 to 3/4 full at peak hour design flow,” the affected sewer mains (shown below) should be upsized where a development is expected to cause this threshold to be exceeded. The cost is estimated at \$1.454 million.¹



The enclosed memo from ISL, based on the principles of the *Development-Related Offsite-Infrastructure Capital Cost Recovery Guide*, notes that no immediate adverse impacts are anticipated from these pipe segments flowing with the Works additional demand, and suggests that, rather than requiring The Works to physically upsized the mains as an excess or extended service (front-end), the Town could consider allowing the connection, particularly, if the applicant is prepared to provide a monetary contribution toward the eventual upsizing, sized in proportion to their share of the demand on the system.

¹ ISL has updated the cost estimate from Urban Systems' 2023/24 to a 2026/27 value using the B.C. Ministry of Transportation and Transit's Highway Construction Cost Index as a general construction-cost escalation proxy.

This would equate to the Works contributing \$46,000 and the monies would be held on deposit by the Town and used by a future developer to front-end the Kicking Horse River Drive sewer segments upsizing.

In this instance, this is possible due to the proposed development's estimated sewer demands and site characteristics of the pipe segments. This contribution allows this medium scale project to move forward even though the pipe segments are overcapacity and surcharging and from an equity perspective provides a contribution towards a future developer to front-end the works. The developer has agreed to the contribution agreement arrangement and the contribution would be collected upon issuance of the building permit.

If the proposed development variance permit (DVP) advances to public notice, Council will be requested to consider approving the DVP subject to the developer entering into contribution agreement on terms satisfactory to the Town prior to the Corporate Officer issuing the DVP.

At building permit application, in order for this project to proceed, the Town and its engineering consultant will be re-reviewing the proposal based on the observance of applicable policy, bylaws, legislation, and utility information available at that time.

In closing, the proposed development has the potential to facilitate a diverse and innovative array of small scale industrial & commercial industrial uses and increase housing stock.

Staff is supportive of the proposed variances and is recommending proceeding with public notice.

DECISION FACTORS

Council Context

Strategic Lens (Alignment to OCP, Bylaws, Existing Legislation)

This development is generally compliant with the Working Town Development Permit Area.

Also, the development meets several objectives and policies, including:

- ✓ *Objective 4.1.1 Increase the diversity of housing types and **tenures** by supporting the development of **mixed-use**, multi-unit housing and purpose-built rental.*
- ✓ *Policy 5.4.2 Ensure an adequate supply of industrial land to meet anticipated needs through the efficient use of underutilized and vacant light industrial land.*
- ✓ *Policy 4.7.2 Ensure that the cost for infrastructure upgrades and extensions required for new development is borne by the new development.*

Corporate Lens (Indigenous Relations and Climate Resilience)

N/A.

Communication (Scope and Tactical Outputs)

A sign will be posted. The Town also provides a notice to all properties within 100m, in the local newspaper and on the Town of Golden's website and social media.

Please note - Variances can solely be granted by Council and the first step is to authorize notification for this to occur. When Council considers a development variance permit, it has been traditional practice to allow in-person representations similar to a public hearing; however, technically, when Council considers granting a variance there is a requirement for notification, but there is no requirement to invite written or in person representations.

Financial (All Term Budget Impacts/Asset Management Impacts/Practicality)

For the purposes of the variance, the application fees have been paid.

If Council approves the Works contribution of \$46,000 will be held on deposit by the Town and could be used by a future developer to front-end the Kicking Horse River Drive sewer segments upsizing.

Administration Context

Administrative (Policy/Procedure Relevancy, Work Plan Impact)

Part of the Planning and Development Department's work plan to process development applications; however, implementing new development related offsite infrastructure mechanisms including this contribution agreement has been time consuming.

OPTIONS

- 1) **AUTHORIZE** public notification on the draft permit.
- 2) **PROPOSE** changes to the draft permit.
- 3) **REFUSE** to authorize public notification.

Respectfully Submitted,



Phil Armstrong MCIP, RPP
Director of Planning and Development

Attachments:

- Draft DVP2026-02 and drawings
- [Development-Related Offsite-Infrastructure Capital Cost Recovery Guide](#) - pdf pages 20.
- ISL Memo



Development Variance Permit No. 2026-02

1. This Development Variance Permit is issued to:

Mr. David Ratzlaff
0804482 B.C. Ltd.
P.O. Box 1304
Golden BC V0A 1K0

2. This Development Variance Permit applies to:

Civic Addresses: 904 10 Street North
Parcel Identifier(s): PID 017-895-863
Legal Description: Lot 1, Section 13, Township 27, Range 22, West of the 5th Meridian,
Kootenay District Plan 16514

3. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the Town of Golden applicable thereto, except as specifically varied by this permit.

4. This Development Variance Permit varies the Town of Golden Zoning Bylaw 1294, 2011 as described below and depicted on Schedule A

- a. Schedule S Light Industrial – M2 zone's section f) Minimum Yard Setbacks
Principal Building(s) and Accessory Buildings and Structures requires a Front Lot Line setback of 4.5 m:

This variance allows for a reduction of the Front Lot Line setback to 3.0 m

- b. Section 8.7 (1) Parking Requirements: General Industrial Use requires 1 parking stall for every 50m² of gross floor area.

This variance allows for 1 parking stall for every 100 m² of General Industrial Use gross floor area.

- c. Section 7.4 (1) Landscape Buffer: Development adjacent to a residential zone shall have a landscape buffer 3.0m in width (onsite).

This variance allows for a reduction to 1.25

5. If the proposed development authorized by this Permit has not been completed within two years after the date of the Council resolution authorizing this Permit, this Permit shall lapse.

6. This variance permit only applies to the proposed development.

7. This Development Variance Permit is not a Building Permit.

Authorizing resolution passed by Mayor and Council on this _____ day of _____, 2026.

Issued on this _____ day of _____, 2026.

Corporate Officer

PROJECT TEAM

CLIENT

H.R. PACIFIC LTD. / 0804482 B.C. LTD.
CONTACT: DAVID RATZLAFF
P.O. BOX 1304, GOLDEN, B.C., V0A 1H0
T: 250.399.4211

ARCHITECT

NORTH ARCHITECTURE STUDIO
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10916 MADRONA DRIVE,
NORTH SAANICH, BC, V8L 5N9
T: 604.842.3350
E: peter@northarchitecturestudio.ca

LANDSCAPE ARCHITECTURE

LARCH LANDSCAPE ARCHITECTURE
CONTACT: JASON JONES LANDSCAPE ARCHITECT, AALA, BCSLA,
1202 ALEXANDER DR
GOLDEN, BC V0A 1H0
T: 250-938-7337
E: larchlandscapearchitecture@gmail.com

BUILDING CODE CONSULTANT

EVOLUTION BUILDING SCIENCE LTD.
CONTACT: GEOFF TRIGGS P. L. ENG.
321 EAST 9TH STREET, .
NORTH VANCOUVER, BC V7L 2B3
T: 604.318.3489
E: ebsl@shaw.ca

PROJECT INFORMATION:

PROJECT SITE INFORMATION:

CIVIC ADDRESS: 904 10 STREET NORTH, GOLDEN, B.C.
PARCEL: 007-630-174
LEGAL ADDRESS: LOT 1 SECTION 13 TOWNSHIP 27 RANGE 22 WEST
OF THE 5TH MERIDIAN KOOTENAY DISTRICT
PLAN 16514
ZONE: M-2
EXISTING LOT AREA: 13,681.53 SF [1271.05 M2]
BUILDING AREA: 5,964 SF [554.07 M2]
(PER BCBC 2018 1.4.1.2)

FLOOR AREA CALCULATIONS

	PROPOSED
LOWER FLOOR AREA	5,964 SF [554.07 M2]
MECH. FLOOR AREA	45 SF [4.18 M2]
OUTDOOR DECK AREA	815 SF [75.72 M2]
UPPER FLOOR AREA	5,186 SF [481.80 M2]
TOTAL GROSS FLOOR AREA	12,010 SF [1115.80 M2]

MAXIMUM # STOREYS:

ALLOWED	PROPOSED
NA	2

NOTE:
FOR THE PURPOSES OF THE BUILDING CODE ANALYSIS, THE OVERALL
DEVELOPMENT HAS BEEN CONSIDERED AND CLASSIFIED AS SIX (5) INDIVIDUAL
SIDE-BY-SIDE "BUILDING AREAS" SUBDIVIDED BY VERTICAL FIREWALLS, HAVING
POTENTIAL MIXED OCCUPANCIES OF INDUSTRIAL GROUP F2 MEDIUM-HAZARD
OR GROUP F3 LOW-HAZARD INDUSTRIAL OCCUPANCIES ON THE MAIN FLOOR,
AND ACCESSORY GROUP C RESIDENTIAL SUITES (OR POTENTIALLY GROUP D
OFFICES) ON THE 2ND FLOOR AREAS ABOVE.

SITE ZONING ANALYSIS:

MAXIMUM BUILDING HEIGHT:

ALLOWED	PROPOSED
12 M	7.79 M [ABOVE LOWEST GRADE]

MAXIMUM LOT COVERAGE:

ALLOWED	PROPOSED
50%	44% 5,964.00 SF [554.07 M2]

MINIMUM OFF-STREET PARKING:

REQUIRED	PROPOSED
6	17

MINIMUM SITE SETBACKS:

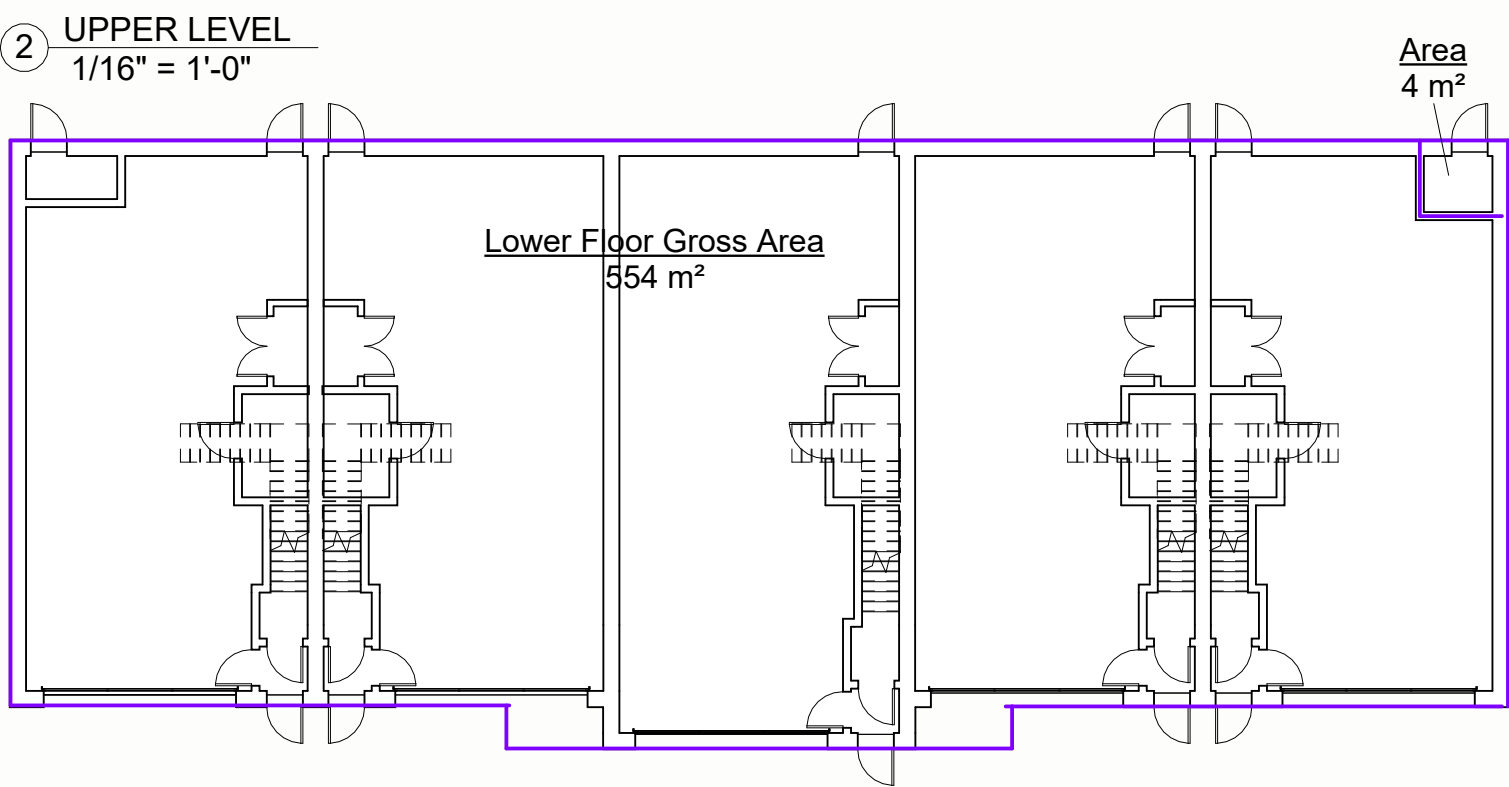
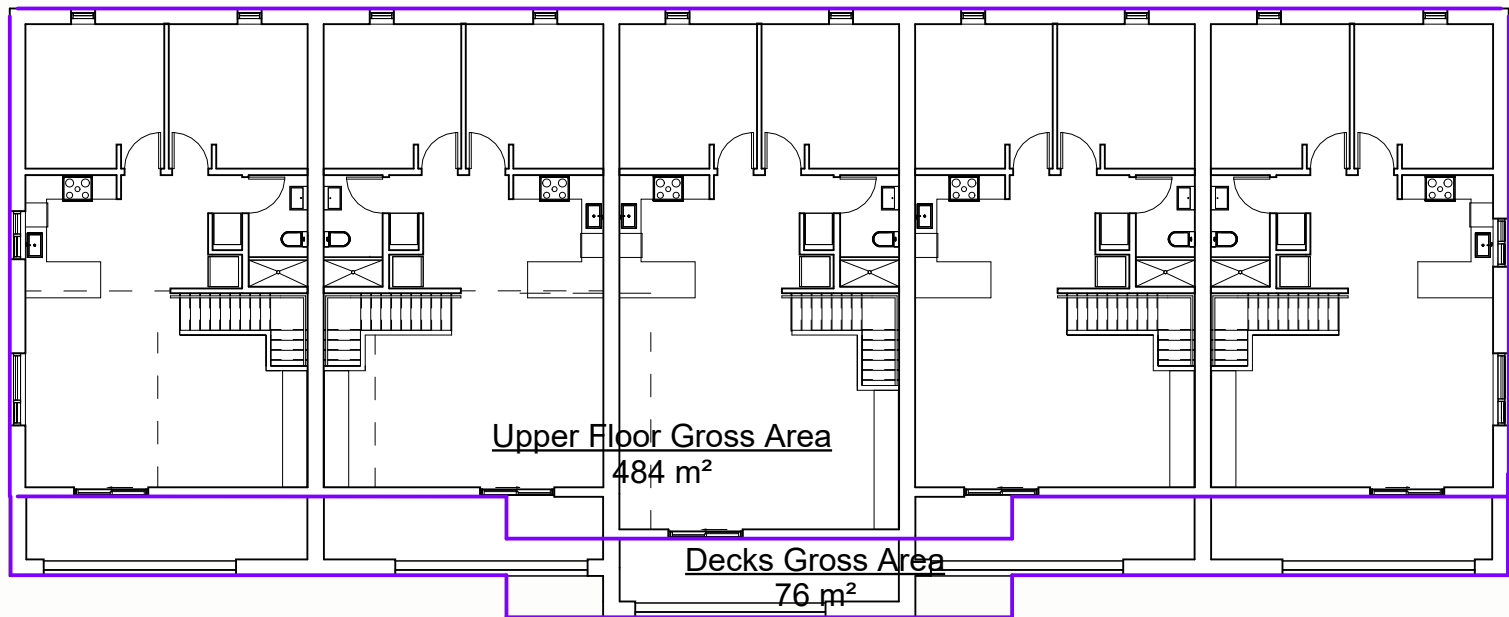
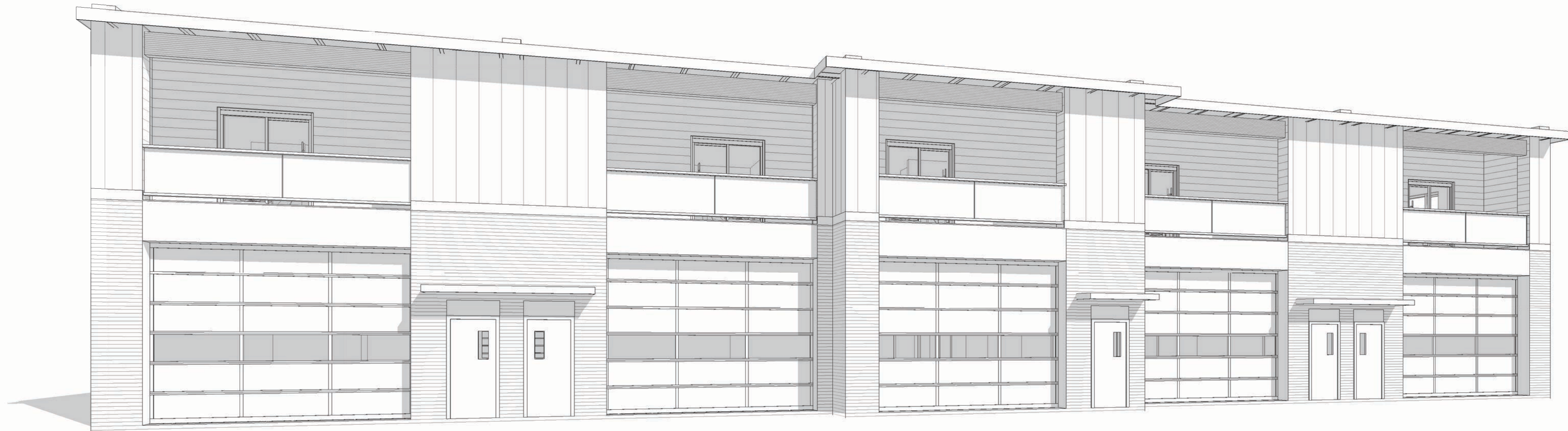
PARCEL LINE	REQUIRED	PROPOSED
FRONT	4.5 M	10.7 M
REAR	3.0 M	3.0 M
INTERIOR SIDE - NORTH	3.0 M	3.0 M
INTERIOR SIDE - WEST	3.0 M	3.0 M

LIMITING DISTANCE CALCULATIONS

WALL FACE	WALL AREA (M2)	WINDOW AREA (M2)	LD (M)	OPENINGS (%) PROPOSED	OPENINGS (%) PERMITTED	STATUS
NORTH (UPPER FLOOR PER SUITE)	22.0	1.98	1.5	9	9	OK
SOUTH	284.0	33.6	5.3	12	40	OK
EAST	108.1	2.6	5	2.4	15	OK
WEST	108.1	2.6	5	2.4	15	OK

*NOTE: ACTUAL UNPROTECTED OPENINGS CALCULATED WITHOUT INCLUDING
REAR DOORWAYS FROM EACH SUITE, AS THESE WILL BE 1.5 HOUR RATED
CLOSURES WITH SELF-CLOSING DEVICES TO PROTECT THESE DOOR OPENINGS.

THE WORKS



ARCHITECTURAL DRAWINGS

- A0.1 COVER
- A0.2 ASSEMBLIES
- A0.3 WINDOW DOOR SCHEDULES
- A1.1 SITE PLAN
- A2.1 GROUND LEVEL PLAN
- A2.2 UPPER LEVEL PLAN
- A2.3 ENLARGED FLOOR PLAN
- A2.4 ENLARGED FLOOR PLAN
- A2.5 ENLARGED FLOOR PLAN
- A2.6 ENLARGED FLOOR PLAN
- A3.1 ELEVATIONS
- A3.2 ELEVATION CANOPY DETAILS
- A4.1 SECTIONS
- A4.2 SECTIONS
- A5.1 REFLECTED CEILING PLAN
- A6.1 PLAN & INTERIOR ELEVATION DETAILS
- A7.1 SECTION DETAILS
- A7.2 SECTION DETAILS
- A7.3 SECTION DETAILS
- A7.4 SECTION DETAILS
- A7.5 STAIR SECTION & WC DETAILS
- A7.7 RECYCLING SHED
- A8.0 KITCHEN DETAILS

THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS MUST BE REPORTED IMMEDIATELY TO THE CONSULTANT. THIS DRAWING IS TO BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS. VARIATIONS AND MODIFICATIONS TO WORK SHOWN SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE CONSULTANT. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND CANNOT BE REPRODUCED, COPIED, OR LOANED WITHOUT PERMISSION OF THE CONSULTANT.

NORTH
ARCHITECTURE
studio

North Architecture Studio Inc.
10916 Madrona Drive,
North Saanich, BC V8L 5N9
Tel: 604.842.3350

CONSULTANT: DRAWING

RE-ISSUE FOR
BUILDING PERMIT

2	2023-02-01	RE-ISSUED FOR BUILDING PERMIT
1	2022-03-25	ISSUED FOR BUILDING PERMIT
NO	DATE	DESCRIPTION

NORTH POINT:

STAMP:

PROJECT:

THE WORKS

904 10TH ST. NORTH, GOLDEN, B.C.

DRAWING:

COVER

PROJECT NO: 2020-1	SCALE: As indicated
START DATE: 07/24/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A0.1

THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS MUST BE REPORTED IMMEDIATELY TO THE CONSULTANT. THIS DRAWING IS TO BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS. VARIATIONS AND MODIFICATIONS TO WORK SHOWN SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE CONSULTANT. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND CANNOT BE REPRODUCED, COPIED, OR LOANED WITHOUT PERMISSION OF THE CONSULTANT.

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CONSULTANT: DRAWING

RE-ISSUE FOR
BUILDING PERMIT

3	2024-12-01	BUILDING PERMIT ADDENDUM 1
2	2023-02-01	RE-ISSUED FOR BUILDING PERMIT
1	2022-03-25	ISSUED FOR BUILDING PERMIT
NO	DATE	DESCRIPTION

NORTH POINT:	STAMP:

PROJECT:

THE WORKS

904 10TH ST. NORTH, GOLDEN, B.C.

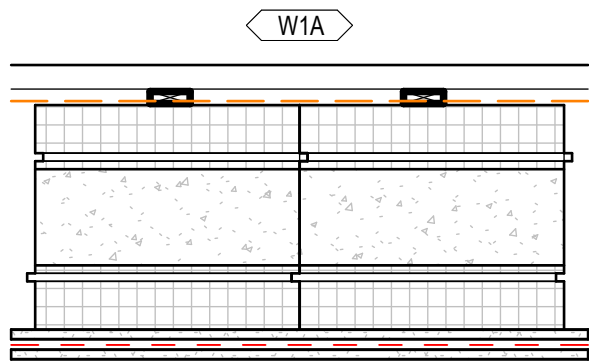
DRAWING:

ASSEMBLIES

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START DATE: 07/23/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

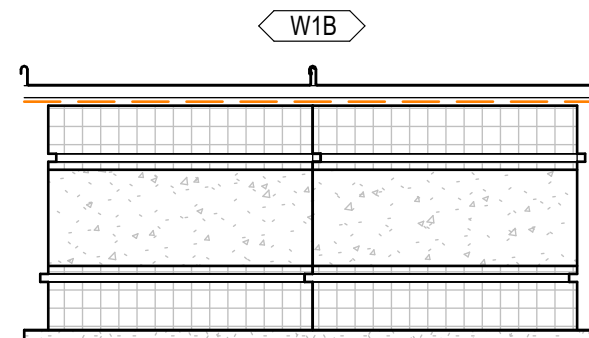
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EXTERIOR WALL ASSEMBLIES



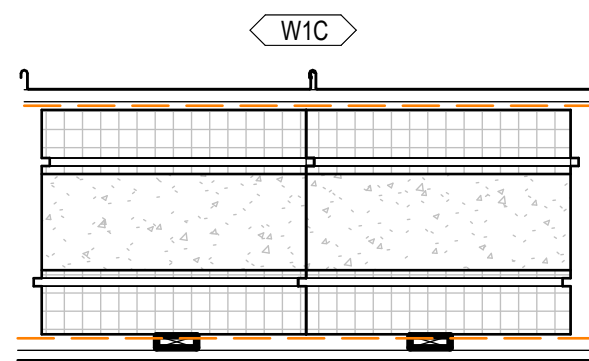
W1A - INSULATED CAST IN PLACE CONCRETE FOUNDATION
FRR N/A
STC N/A

1-1/2" PRE-FINISHED HORIZONTAL METAL CLADDING SYSTEM
VERTICAL, TREATED 1 x 4 STRAPPING 16" O.C.
BUILDING WRAP (AIR BARRIER)
8" R25 ICF FOUNDATION WALL
5/8" TYPE X GWB
EXHAUST FUMES AIR BARRIER
5/8" TYPE X GWB C/W PAINT FINISH



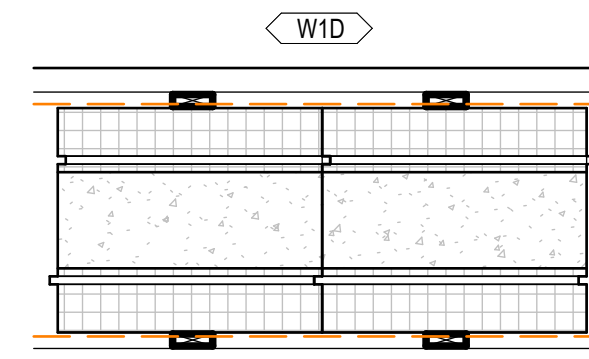
W1B - INSULATED CAST IN PLACE CONCRETE WALL
FRR N/A
STC N/A

PREFINISHED METAL VERTICAL STANDING SEAM CLADDING SYSTEM
HORIZONTAL, TREATED 1 x 4 STRAPPING 16" O.C.
BUILDING WRAP (AIR BARRIER)
8" R25 ICF FOUNDATION WALL
5/8" GWB C/W PAINT FINISH



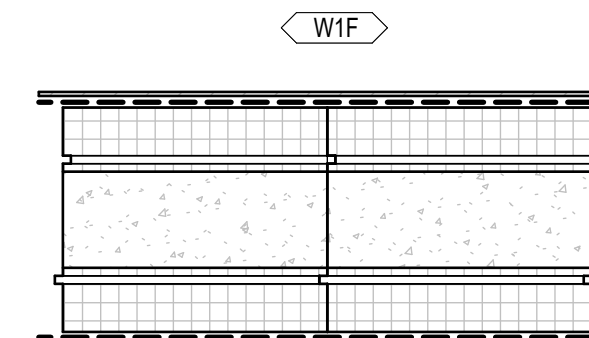
W1C - INSULATED CAST IN PLACE CONCRETE WALL
FRR N/A
STC N/A

PREFINISHED METAL VERTICAL STANDING SEAM CLADDING SYSTEM
HORIZONTAL, TREATED 1 x 4 STRAPPING 16" O.C.
BUILDING WRAP (AIR BARRIER)
8" R25 ICF FOUNDATION WALL
BUILDING WRAP (AIR BARRIER)
VERTICAL, TREATED 1 x 4 STRAPPING 16" O.C.
5/8" PRE-FINISHED HORIZONTAL METAL CLADDING SYSTEM



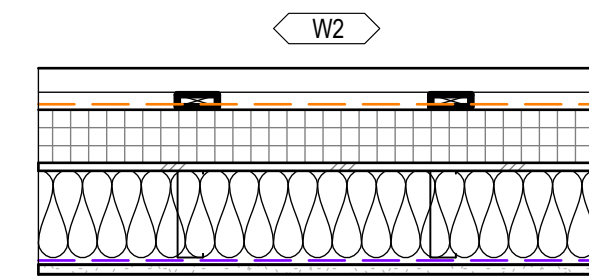
W1D - INSULATED CAST IN PLACE CONCRETE WALL
FRR N/A
STC N/A

1-1/2" PRE-FINISHED HORIZONTAL METAL CLADDING SYSTEM
VERTICAL, TREATED 1 x 4 STRAPPING 16" O.C.
BUILDING WRAP (AIR BARRIER)
8" R25 ICF FOUNDATION WALL
BUILDING WRAP (AIR BARRIER)
VERTICAL, TREATED 1 x 4 STRAPPING 16" O.C.
1-1/2" PRE-FINISHED HORIZONTAL METAL CLADDING SYSTEM



W1F - INSULATED CAST IN PLACE CONCRETE FOUNDATION
FRR N/A
STC N/A

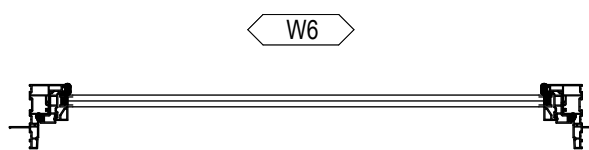
APPROVED BACKFILL
DRAINAGE MATT
8" R25 ICF FOUNDATION WALL
"EMESEAL 90 MIL LINER" MEMBRANE
DRAINAGE MATT
APPROVED BACKFILL



W2 - 2x6 EXTERIOR STUD WALL W/ CLADDING FINISH
FRR NA
STC 54

1-1/2" PRE-FINISHED HORIZONTAL METAL CLADDING SYSTEM
VERTICAL, TREATED 1 x 4 STRAPPING 16" O.C.
BUILDING WRAP (AIR BARRIER)
1-1/2" RIGID XPS INSULATION
1/2" PLYWOOD SHEATHING
2X6 STEEL STUDS @ 16" O.C.
R24 BATT INSULATION
6MIL. VAPOUR BARRIER
5/8" GWB C/W PAINT FINISH

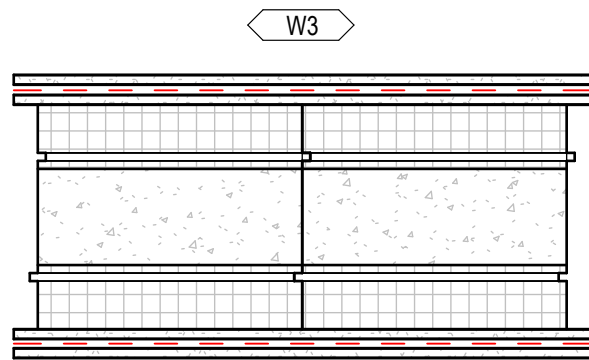
EXTERIOR WALL ASSEMBLIES



W6 - WINDOWS

THERMAL BROKEN TRIPLE-GLAZED SEALED UNITS
C/W HIGH-PERFORMANCE THERMAL BROKEN FRAMES

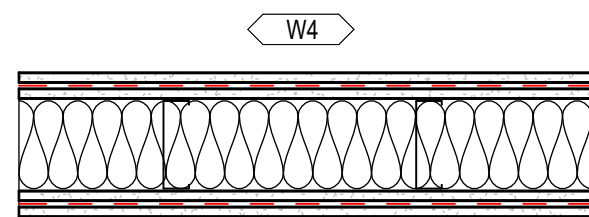
INTERIOR WALL ASSEMBLIES



W3 - INSULATED CAST IN PLACE CONCRETE PARTI WALL
*FRR 4HR

5/8" TYPE X GWB C/W PAINT FINISH
EXHAUST FUMES AIR BARRIER
5/8" TYPE X GWB
8" R25 ICF FOUNDATION WALL
5/8" TYPE X GWB
EXHAUST FUMES AIR BARRIER
5/8" TYPE X GWB C/W PAINT FINISH

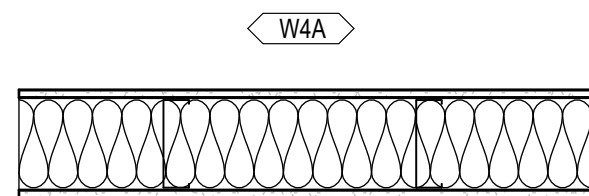
*NOTE:
4 HR INTERIOR WALLS: FROM BCBC- APPENDIX D TABLE D-2.1.1. INDICATES A MINIMUM THICKNESS OF 167 MM CONCRETE FOR 4-HOUR RATED WALL ASSEMBLY (PROJECT WALLS ARE 200 MM TYP).



W4 - 2x6 INTERIOR PARTITION WALL
*FRR 2HR
STC 57

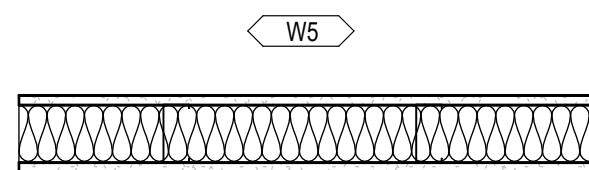
5/8" GWB C/W PAINT FINISH
EXHAUST FUMES AIR BARRIER
5/8" TYPE X GWB
2x6 STEEL STUDS @ 16" O.C.
MINERAL WOOL ACOUSTIC INSULATION
5/8" TYPE X GWB
EXHAUST FUMES AIR BARRIER
5/8" TYPE X GWB C/W PAINT FINISH

*NOTE:
2 HR INTERIOR FIRE SEPARATION WALLS: CERTAINTeed SYSTEM WPC257A (OR SIMILAR) WITH EXHAUST FUMES AIR BARRIER FIRE: ULC U411, STC: 57



W4A - 2x6 INTERIOR PARTITION WALL
FRR N/A

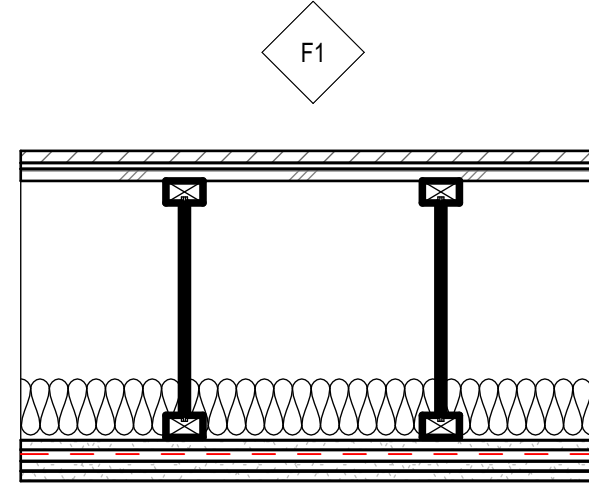
5/8" GWB C/W PAINT FINISH
2x6 STEEL STUDS @ 16" O.C.
MINERAL WOOL ACOUSTIC INSULATION
5/8" GWB C/W PAINT FINISH



W5 - 2x4 INTERIOR PARTITION WALL
FRR N/A
STC N/A

5/8" GWB C/W PAINT FINISH
2x4 STEEL STUDS @ 16" O.C.
3 1/2" MINERAL WOOL ACOUSTIC INSULATION
5/8" GWB C/W PAINT FINISH

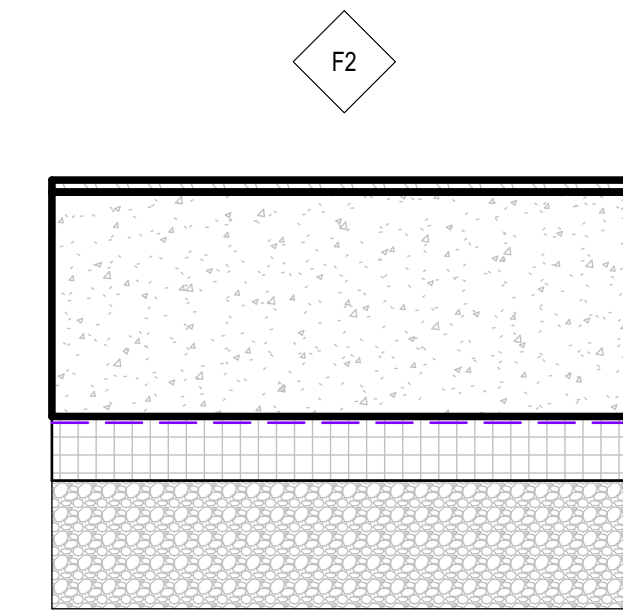
FLOOR ASSEMBLIES



F1 - WOOD FRAME FLOOR
*FRR 2HR
STC 54

VINYL PLANK FINISHED FLOORING (OR CARPET W/ UNDERLAY)
ACOUSTIC ISOLATION MAT
3/4" T&G FIR PLYWOOD - REFER TO STRUCTURAL DRAWINGS
16" TJI FLOOR JOISTS @ 16" O/C
REFER TO STRUCTURAL DRAWINGS, CROSS-BRIDGING AS REQUIRED
3 1/2" MINERAL WOOL ACOUSTIC INSULATION
5/8" TYPE X GWB
EXHAUST FUMES AIR BARRIER
RESILIENT CHANNELS
5/8" TYPE X GWB
5/8" TYPE X GWB C/W PAINT FINISH

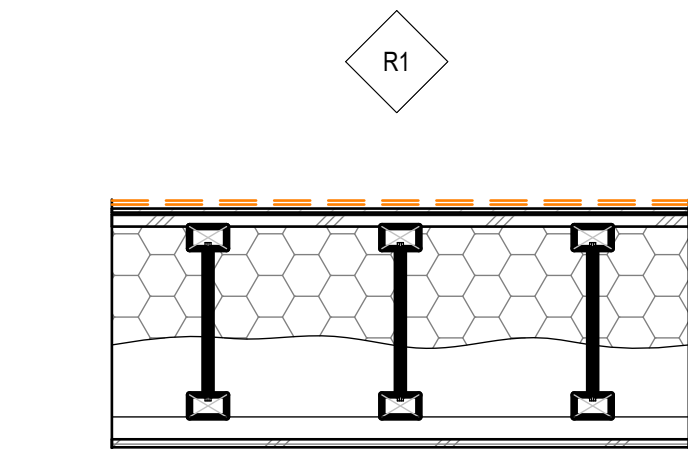
*NOTE:
2 HR INTERIOR FLOOR ASSEMBLY/ FIRE SEPARATION: CERTAINTeed SYSTEM WFF254 (OR SIMILAR) FIRE: ITS WNR/FCA 120-03, STC: 54



F2 - CONCRETE SLAB ON GRADE
FRR N/A
STC N/A

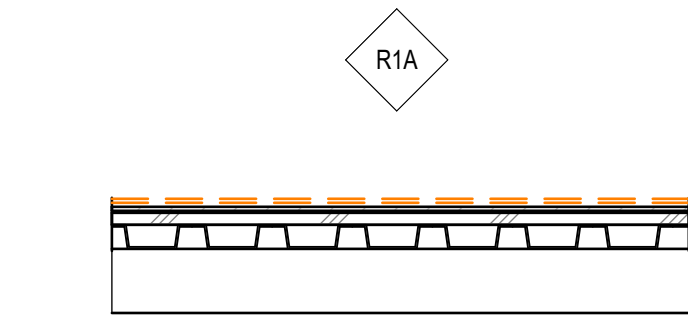
FLOOR FINISH (HARDWOOD, TILE OR CARPET - AS APPLICABLE)
REINFORCED CONCRETE SLAB ON GRADE
REFER TO STRUCTURAL DRAWINGS
6 MIL POLY MOISTURE BARRIER
MIN R12 EXTRUDED POLYSTYRENE
8" CRUSHED ROCK
COMPACTED SUB GRADE

ROOF ASSEMBLIES



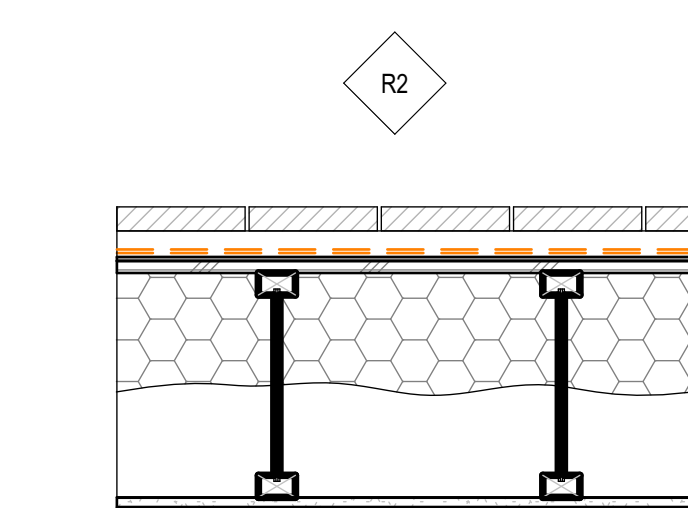
R1 - SBS ROOF OVER LIVING
FRR N/A
STC N/A

2-PLY SBS ROOFING MEMBRANE
DRAINAGE LAYER
3/4" TREATED T&G PLYWOOD SHEATHING
SPRAYFOAM INSULATION - R40
SLOPED TJI JOISTS AS PER STRUCTURAL DRAWINGS
FURRING TO FLAT CEILING
5/8" TYPE X DRYWALL C/W PAINT FINISH



R1A - SBS ROOF OVER LIVING (NON-COMBUSTABLE)
FRR N/A
STC N/A

2-PLY SBS ROOFING MEMBRANE
DRAINAGE LAYER
3/4" TREATED T&G PLYWOOD SHEATHING
PAINTED STEEL DECKING
PAINTED STRUCTURAL STEEL AS PER STRUCTURAL DRAWINGS



R2 - ROOF DECK OVER LIVING SPACE
FRR N/A
STC N/A

PORCELAIN PAVERS
PAVER PEDESTALS
2 PLY SBS ROOF MEMBRANE UNDERLAY
DRAINAGE BOARD
3/4" T&G ROOF SHEATHING AS PER STRUCTURAL DRAWINGS
SPRAYFOAM INSULATION - R40
ENGINEERED TJI JOISTS AS PER STRUCTURAL DRAWINGS
CEILING SUPPORT FRAMING
5/8" GWB C/W PAINT FINISH

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Tel: 604.842.3350

CONSULTANT: DRAWING

RE-ISSUE FOR
BUILDING PERMIT

2	2023-02-01	RE-ISSUED FOR BUILDING PERMIT
1	2022-03-25	ISSUED FOR BUILDING PERMIT

NO	DATE	DESCRIPTION
NORTH POINT:		STAMP:

PROJECT:

THE WORKS

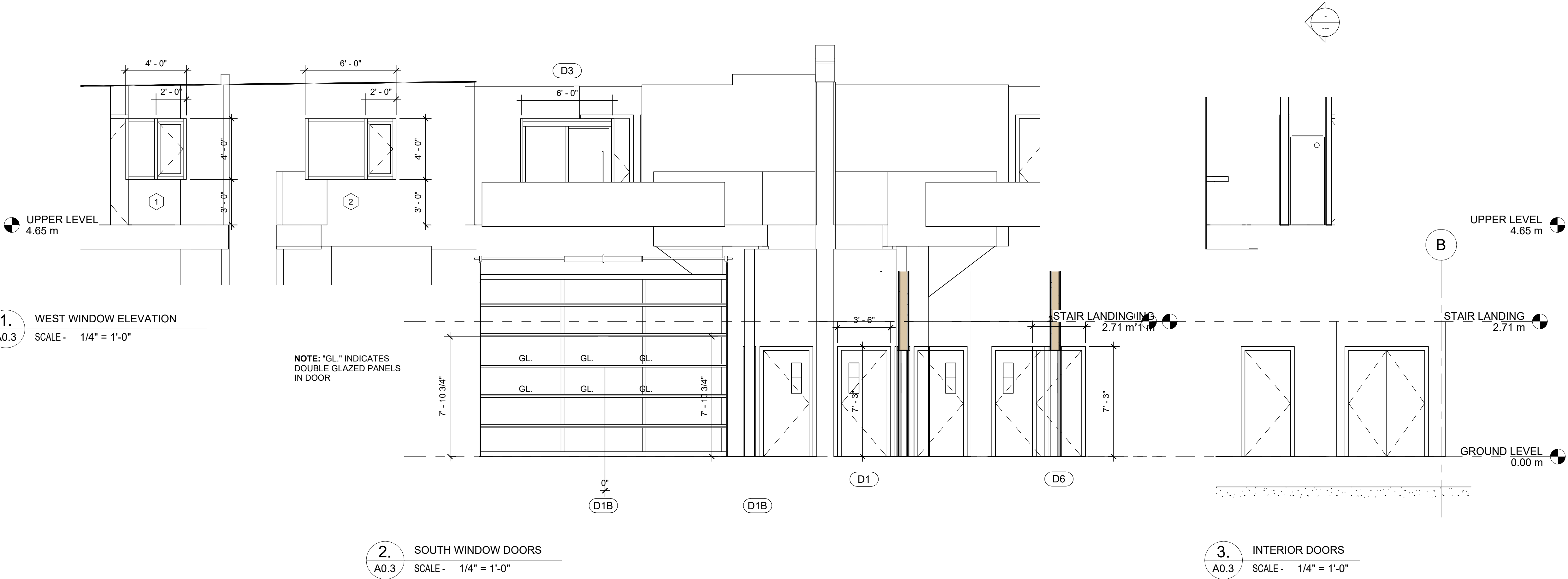
904 10TH ST. NORTH, GOLDEN, B.C.

DRAWING:

WINDOW DOOR SCHEDULES

PROJECT NO: 2020-1	SCALE: 1/4" = 1'-0"
START DATE: 08/05/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A0.3



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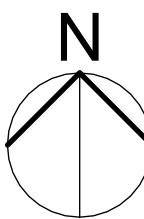
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Tel: 604.842.3350

CONSULTANT: DRAWING

RE-ISSUE FOR BUILDING PERMIT

2	2023-02-01	RE-ISSUED FOR BUILDING PERMIT
1	2022-03-25	ISSUED FOR BUILDING PERMIT
NO	DATE	DESCRIPTION

NORTH POINT:



STAMP:

PROJECT:

THE WORKS

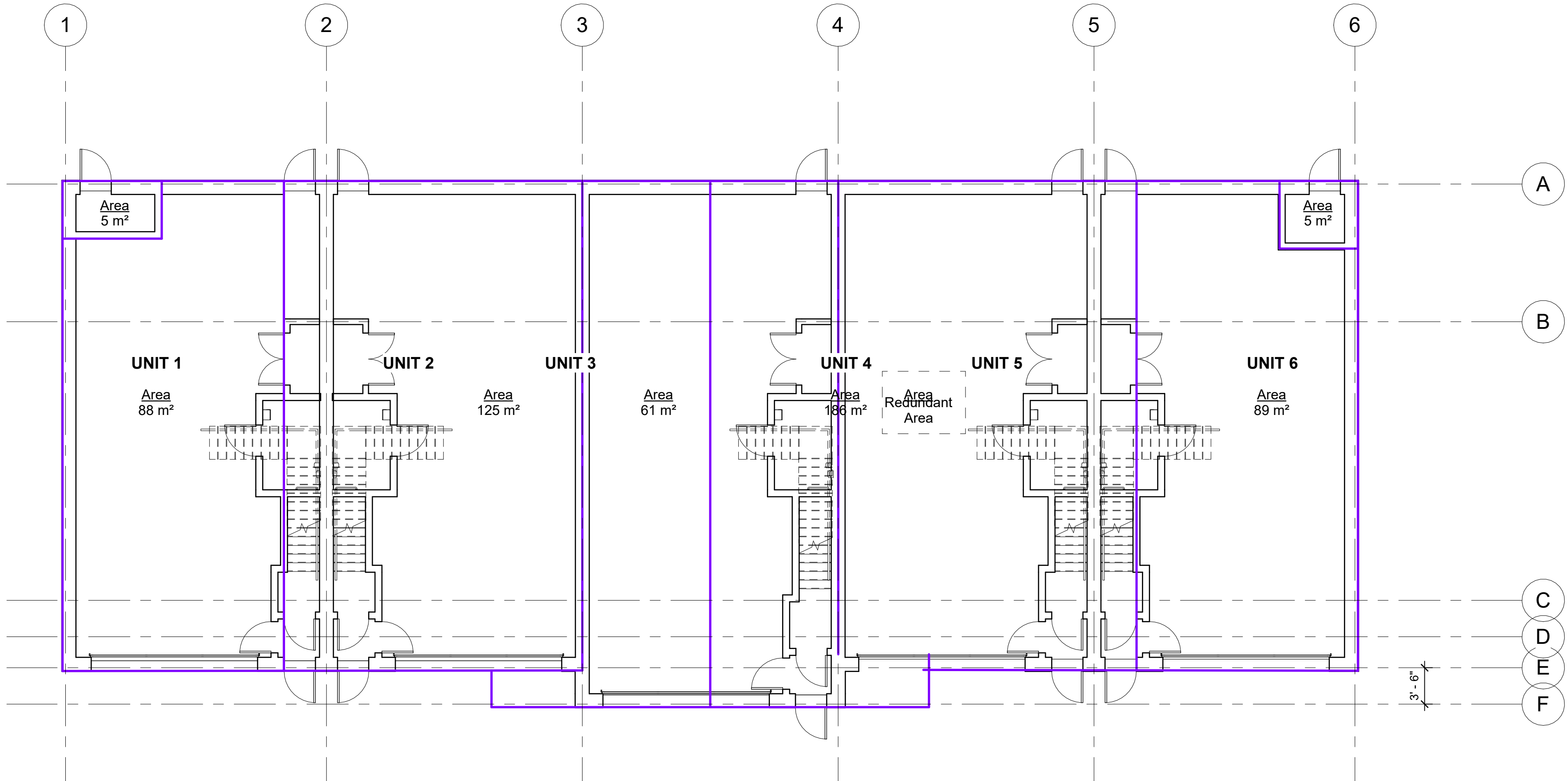
904 10TH ST. NORTH, GOLDEN, B.C.

DRAWING:

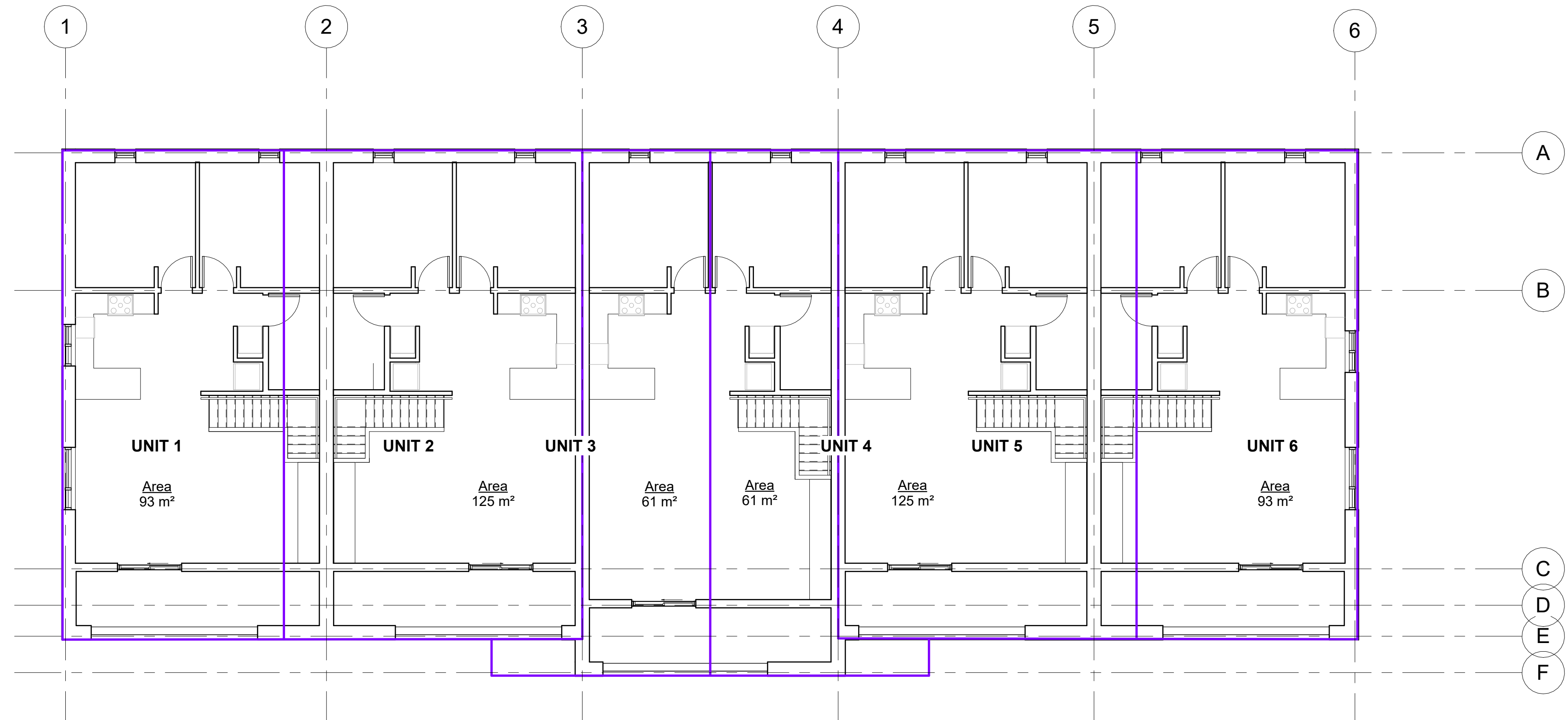
UNIT AREAS

PROJECT NO: 2020-1	SCALE: 1/8" = 1'-0"
START DATE: 02/17/21	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A0.4



1 GROUND LEVEL UNIT AREAS
A0.4 SCALE - 1/8" = 1'-0"



2 UPPER LEVEL UNIT AREAS
A0.4 SCALE - 1/8" = 1'-0"

TOTAL AREA: 11,778.6 SF

UNIT #1: 1940 SF **16.0%**

UNIT #2: 1866 SF **15.8%**

UNIT #3: 2078 SF **17.6%**

UNIT #4: 2079 SF **17.6%**

UNIT #5: 1865 SF **15.8%**

UNIT #6: 1887 SF **16.0%**

WATER RM: 53 SF **0.5%**

ELEC. RM: 49 SF **0.4%**

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CONSULTANT: DRAWING

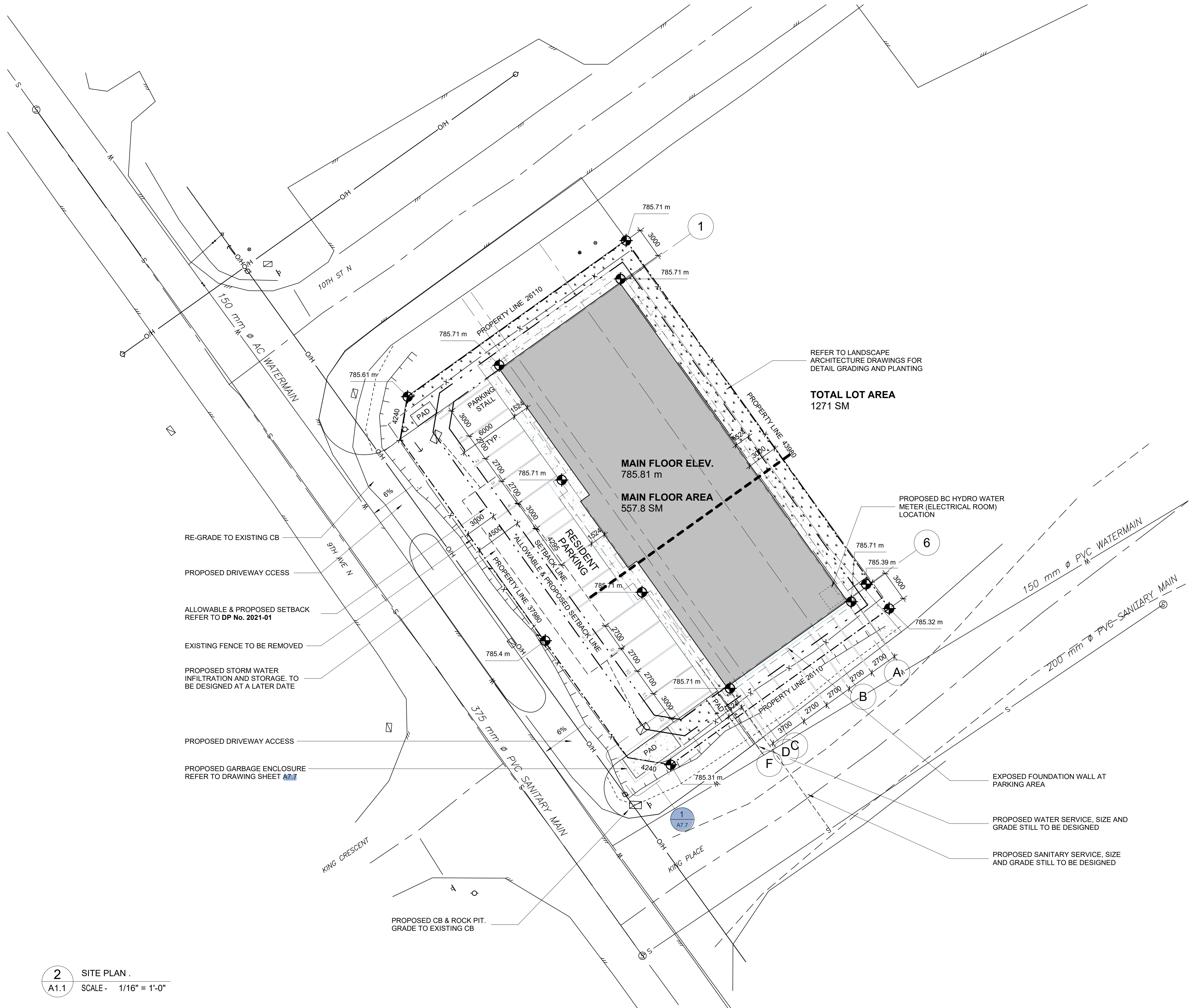
RE-ISSUE FOR BUILDING PERMIT

WORTH POINT: 	STAMP:
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DRAWING: SITE PLAN

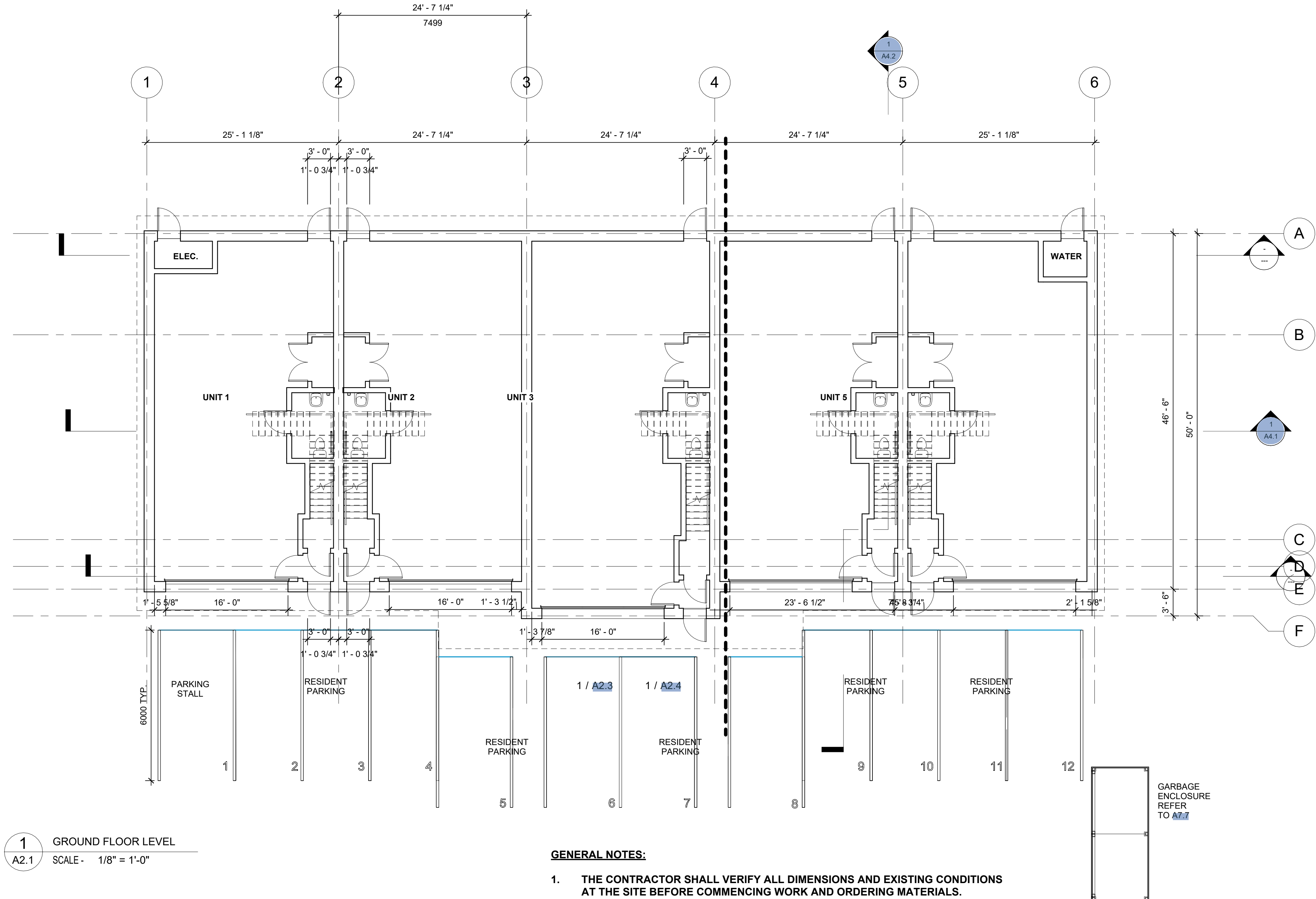
PROJECT NO: 2020-1	SCALE: 1/16" = 1'-0"
START DATE: 07/23/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A1.1



2 SITE PLAN .
A1.1 SCALE - 1/16" = 1'-0"

	CALLOUT HEAD
	ELEVATION MARKER
	SECTION MARKER
	LEVEL MARKER
	CEILING HEIGHT TAG
	DOOR TAG
	FLOOR TAG
	NORTH ARROW
	REVISION TAG
Room name	ROOM TAG
	SPOT ELEVATION MARK
20R @ 7 1/2"	STAIR TAG
	WALL TAG
	WINDOW TAG
	ROOF TAG
	ASSEMBLIES TAG
	ASSEMBLIES TAG
	WALL TAG
	WALL TAG
	WALL TAG
	FLOOR DRAIN
	EMERGENCY EXIT SIGN
	FIRE EXTINGUISHER



1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND ORDERING MATERIALS. INFORM THE CONSULTANT OF ANY DISCREPANCIES / INCONSISTENCIES / UNKNOWN PRIOR TO COMMENCING WORK.
2. WORK DONE AS PER CONTRACT DRAWINGS SHALL CONFORM TO THE BRITISH COLUMBIA BUILDING CODE 2020 AND ALL PROVINCIAL & MUNICIPAL BYLAWS & CODES.
3. DIMENSIONS DENOTE EXTERNAL FACE OF CONCRETE, EXTERIOR SHEATHING (STUD WALLS) AND INTERNAL WALL CENTERLINE OF STUD FRAME.
4. WINDOW AND DOOR SIZES ARE NOTED AS WIDTH BY HEIGHT.
5. WINDOWS AND DOORS ARE NOTED AS NOMINAL SIZES, ROUGH OPENINGS TO BE CONFIRMED WITH WINDOW MANUFACTURER REQUIREMENTS.
6. IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE PROPER SEQUENCE, COORDINATION AND PHASING OF CONSTRUCTION TO MEET CLIENT'S CONSTRUCTION COMPLETION DEADLINE.
7. ALL MATERIALS USED SHALL BE INSTALLED AND / OR APPLIED ACCORDING TO MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.

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2	2023-02-01	RE-ISSUED FOR BUILDING PERMIT
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NO	DATE	DESCRIPTION

THE WORKS

904 10TH ST. NORTH, GOLDEN, B.C.

GROUND LEVEL PLAN

PROJECT NO: 2020-1	SCALE: As indicated
START DATE: 07/23/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A2.1

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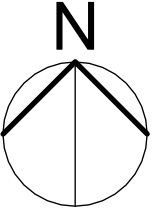
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CONSULTANT: DRAWING

RE-ISSUE FOR BUILDING PERMIT

2	2023-02-01	RE-ISSUED FOR BUILDING PERMIT
1	2022-03-25	ISSUED FOR BUILDING PERMIT
NO	DATE	DESCRIPTION

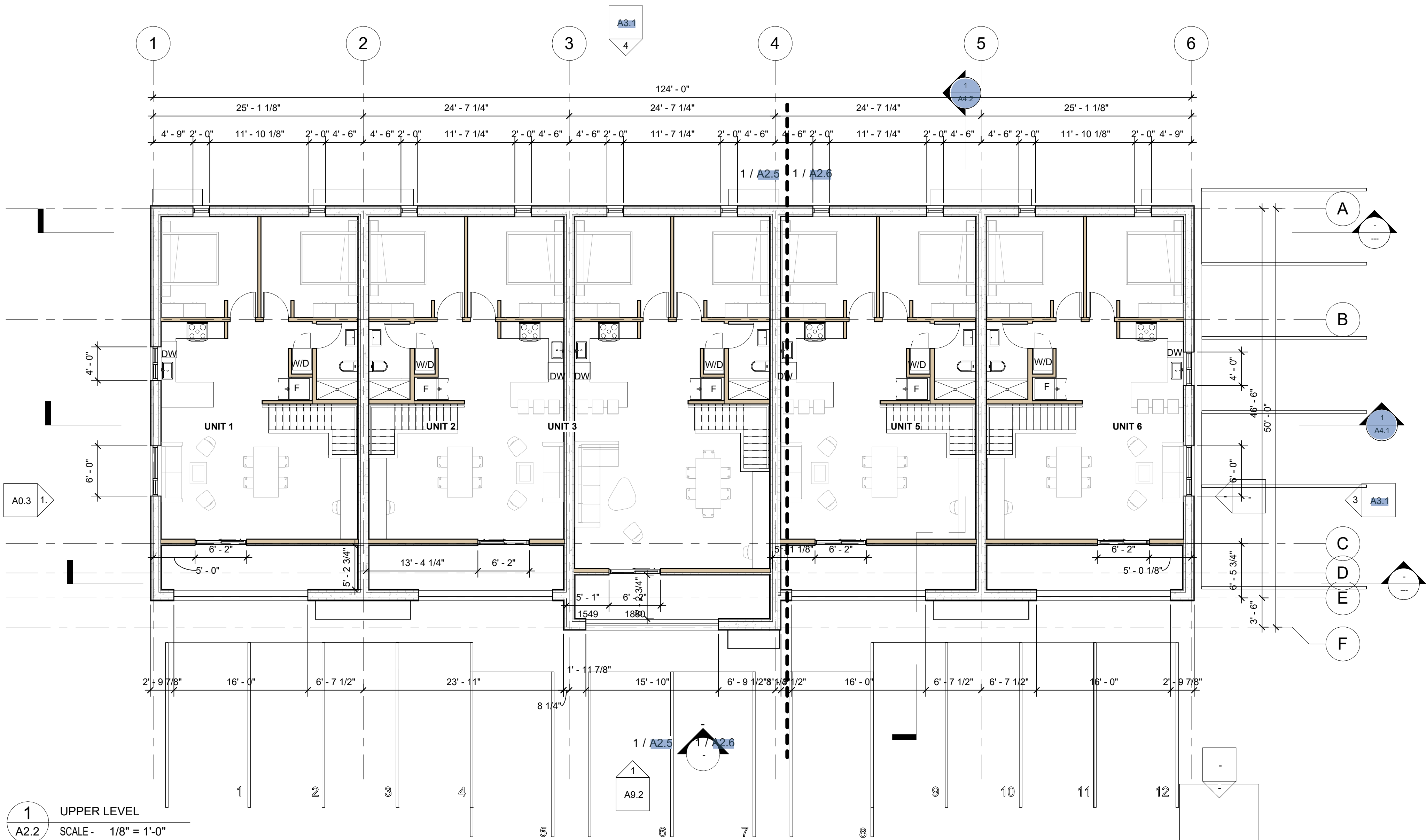
NORTH POINT:	STAMP:
	

PROJECT:
THE WORKS
904 10TH ST. NORTH, GOLDEN, B.C.

DRAWING:
UPPER LEVEL PLAN

PROJECT NO: 2020-1	SCALE: 1/8" = 1'-0"
START DATE: 07/21/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A2.2



1 / A2.4

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RE-ISSUE FOR BUILDING PERMIT

2	2023-02-01	RE-ISSUED FOR BUILDING PERMIT
1	2022-03-25	ISSUED FOR BUILDING PERMIT
NO	DATE	DESCRIPTION

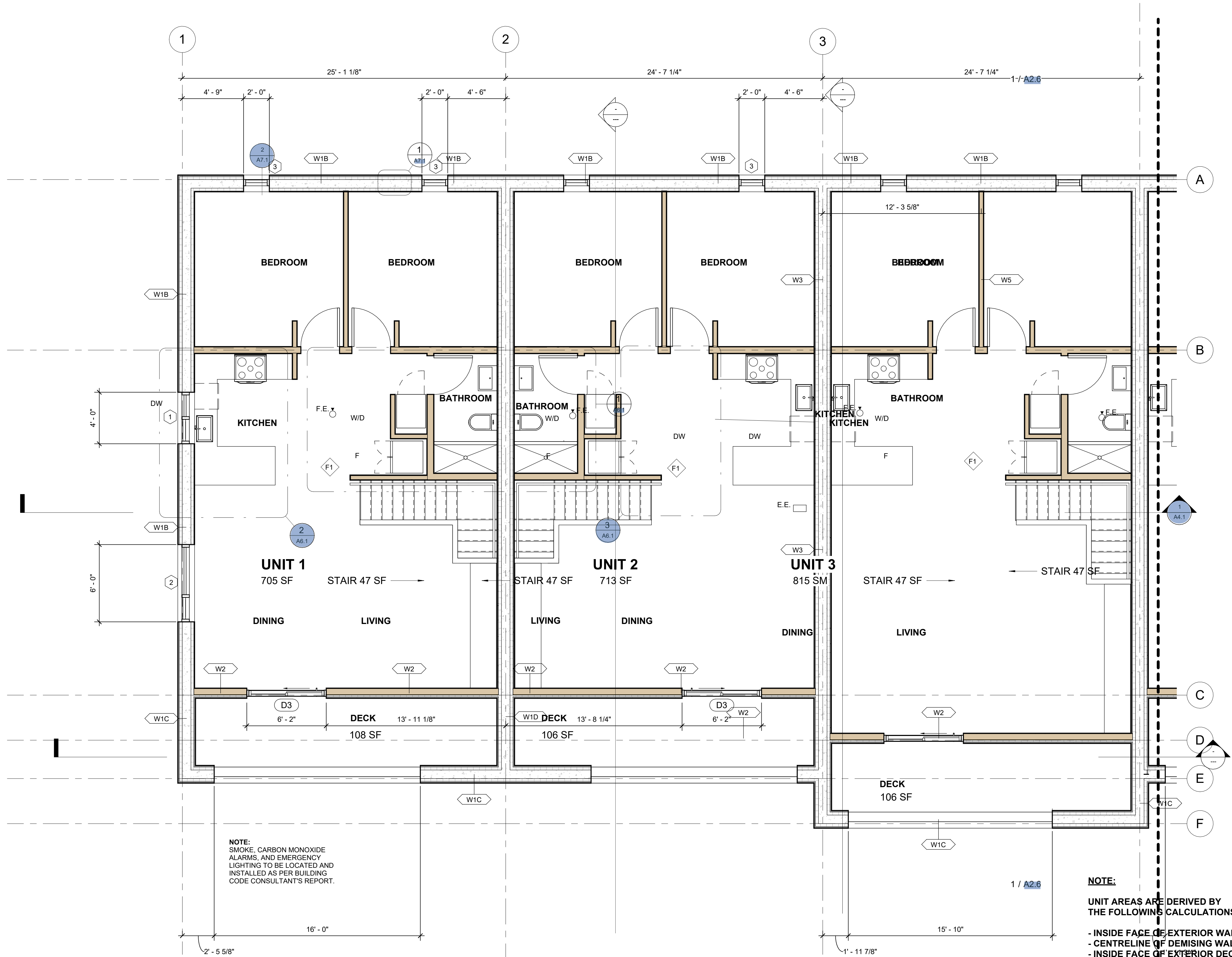
NORTH POINT:	STAMP:

PROJECT:
THE WORKS
904 10TH ST. NORTH, GOLDEN, B.C.

DRAWING:
ENLARGED FLOOR PLAN

PROJECT NO: 2020-1	SCALE: 1/4" = 1'-0"
START DATE: 07/23/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A2.5



1 UPPER LEVEL A
A2.5 SCALE - 1/4" = 1'-0"

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RE-ISSUE FOR
BUILDING PERMIT

2	2023-02-01	RE-ISSUED FOR BUILDING PERMIT
1	2022-03-25	ISSUED FOR BUILDING PERMIT
NO	DATE	DESCRIPTION

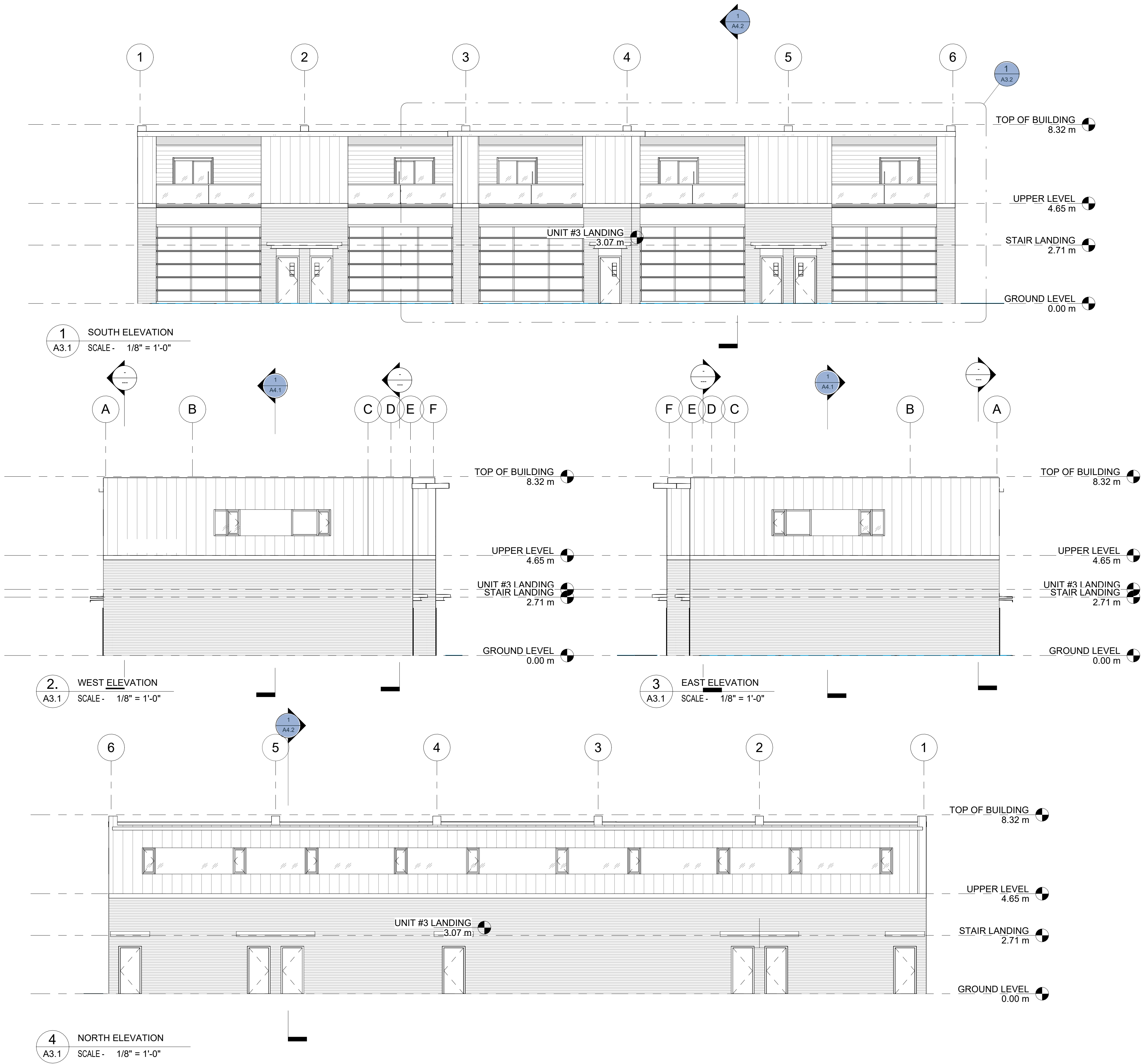
NORTH POINT:	STAMP:

PROJECT:
THE WORKS
904 10TH ST. NORTH, GOLDEN, B.C.

DRAWING:
ELEVATIONS

PROJECT NO: 2020-1	SCALE: 1/8" = 1'-0"
START DATE: 07/23/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A3.1



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RE-ISSUE FOR
BUILDING PERMIT

2	2023-02-01	RE-ISSUED FOR BUILDING PERMIT
1	2022-03-25	ISSUED FOR BUILDING PERMIT
NO	DATE	DESCRIPTION

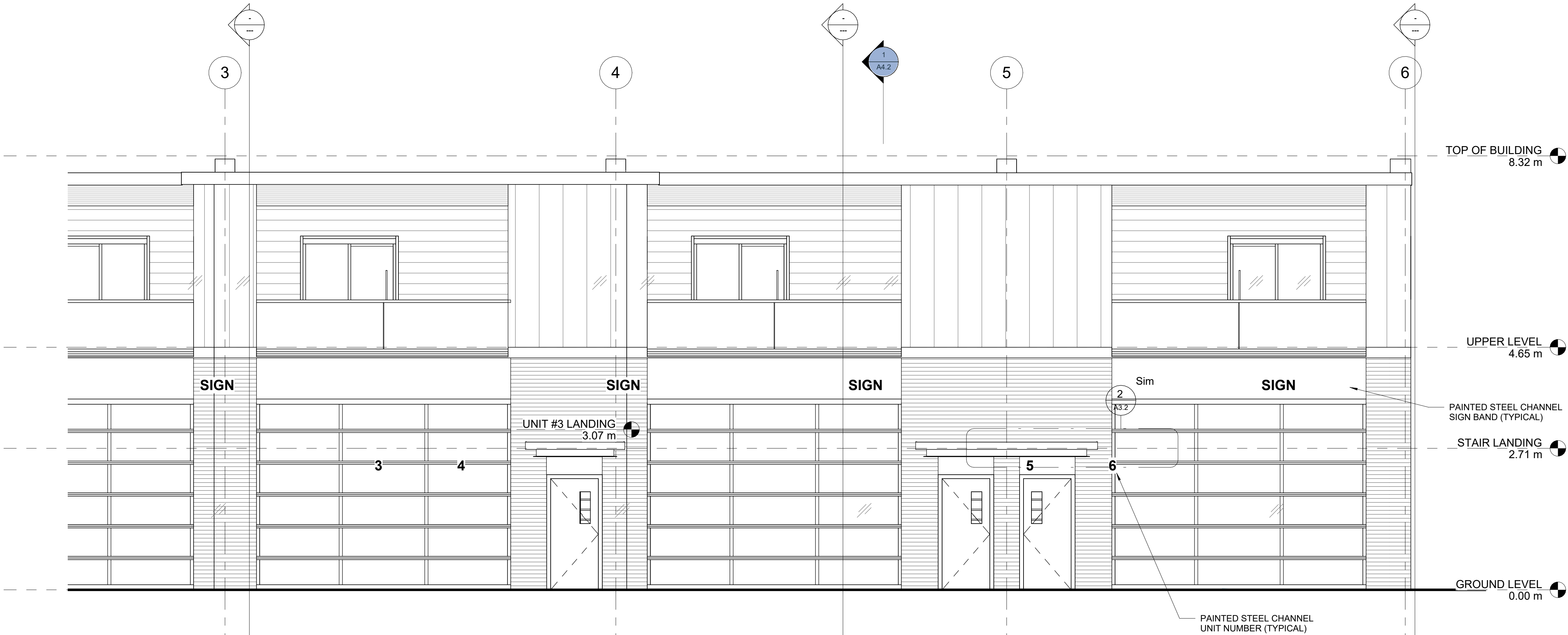
NORTH POINT:	STAMP:

PROJECT:
THE WORKS
904 10TH ST. NORTH, GOLDEN, B.C.

DRAWING:
ELEVATION CANOPY DETAILS

PROJECT NO: 2020-1	SCALE: As indicated
START DATE: 08/26/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A3.2



1 ELEVATION DETAIL
A3.2 SCALE - 1/4" = 1'-0"

5 GL

2 CANOPY OVERHANG ELEVATION DETAIL
A3.2 SCALE - 3/4" = 1'-0"

5 GL

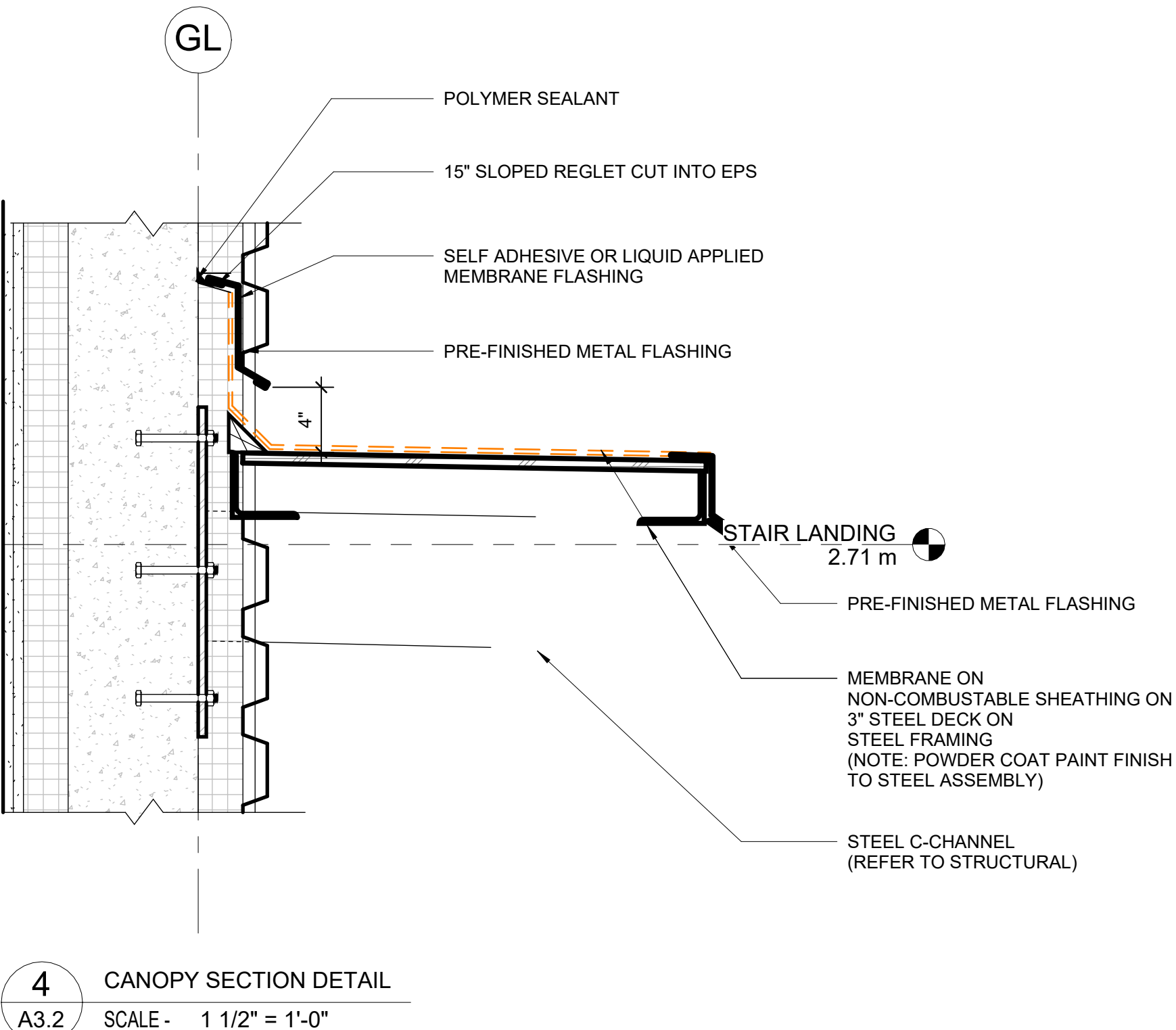
3 CANOPY CEILING PLAN DETAIL
A3.2 SCALE - 3/4" = 1'-0"

5 GL

STAIR LANDING
2.71 m
5 1/2" METAL FLASHING
8" STEEL CHANNEL SUPPORT

5 GL

5 1/2" METAL FLASHING
8" STEEL CHANNEL SUPPORT



4 CANOPY SECTION DETAIL
A3.2 SCALE - 1 1/2" = 1'-0"

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CONSULTANT: DRAWING

RE-ISSUE FOR
BUILDING PERMIT

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NO	DATE	DESCRIPTION

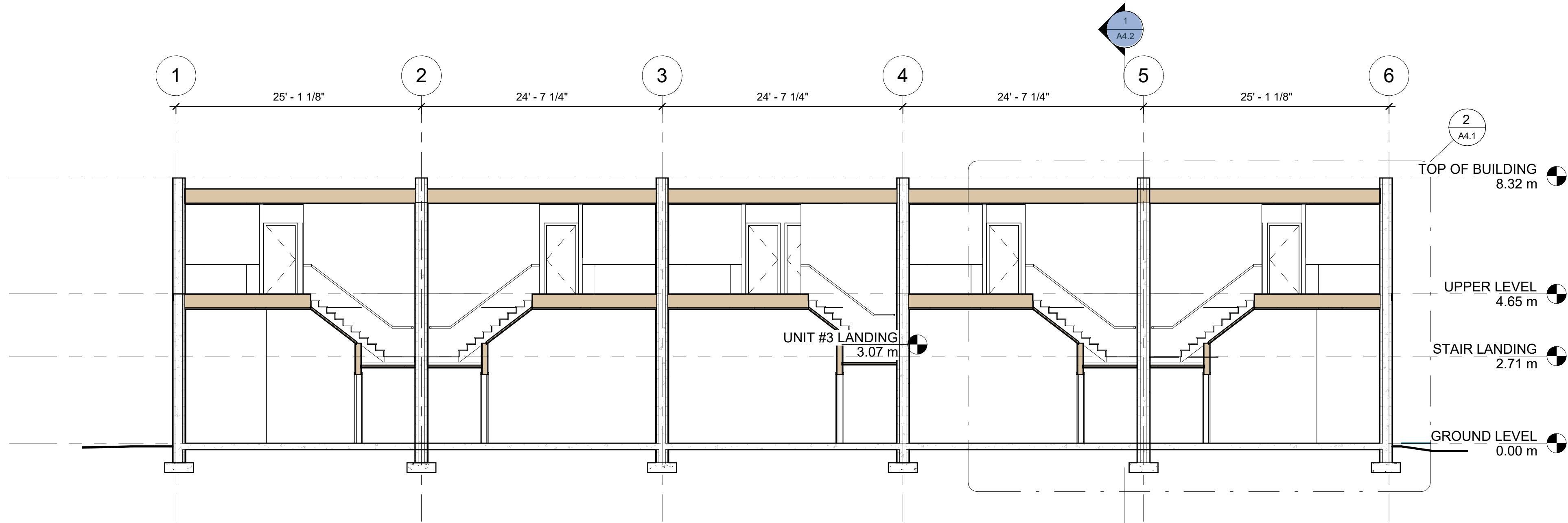
NORTH POINT:	STAMP:

PROJECT:
THE WORKS
904 10TH ST. NORTH, GOLDEN, B.C.

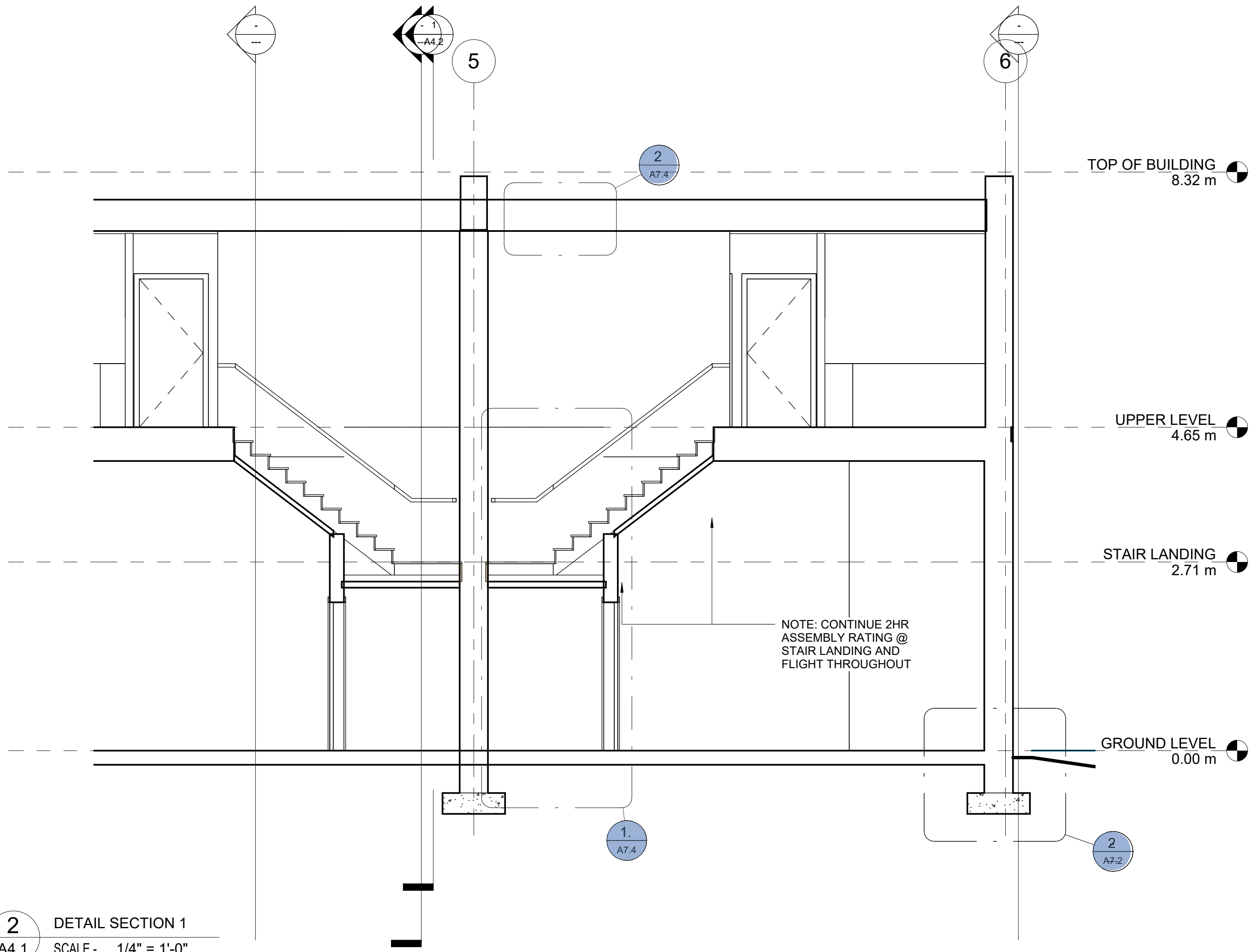
DRAWING:
SECTIONS

PROJECT NO: 2020-1	SCALE: As indicated
START DATE: 07/23/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A4.1



1 SECTION 1
A4.1 SCALE - 1/8" = 1'-0"



2 DETAIL SECTION 1
A4.1 SCALE - 1/4" = 1'-0"

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CONSULTANT: DRAWING

RE-ISSUE FOR
BUILDING PERMIT

2	2023-02-01	RE-ISSUED FOR BUILDING PERMIT
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NO	DATE	DESCRIPTION

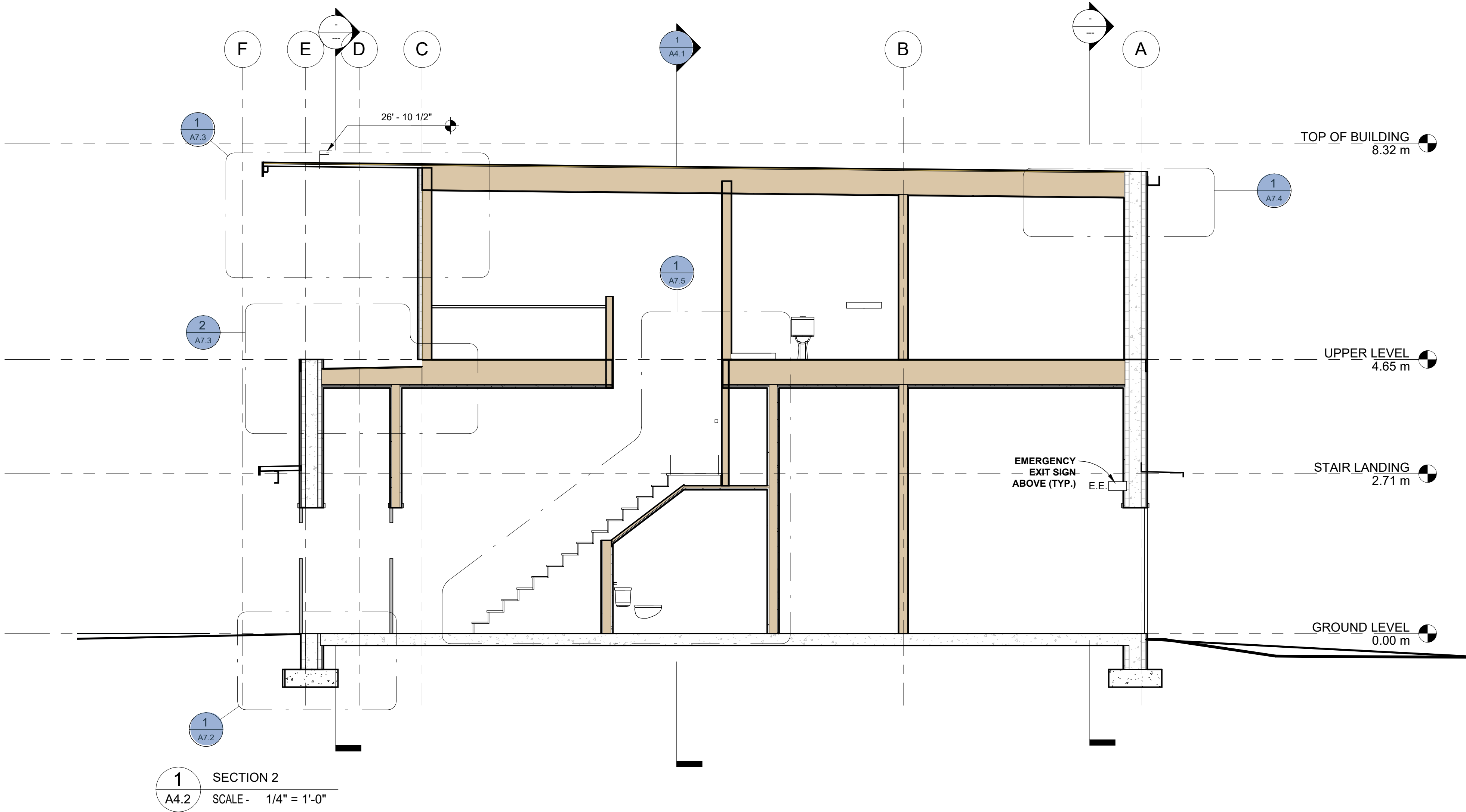
NORTH POINT:	STAMP:

PROJECT:
THE WORKS
904 10TH ST. NORTH, GOLDEN, B.C.

DRAWING:
SECTIONS

PROJECT NO: 2020-1	SCALE: 1/4" = 1'-0"
START DATE: 08/28/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A4.2



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CONSULTANT: DRAWING

RE-ISSUE FOR
BUILDING PERMIT

2	2023-02-01	RE-ISSUED FOR BUILDING PERMIT
1	2022-03-25	ISSUED FOR BUILDING PERMIT
NO	DATE	DESCRIPTION

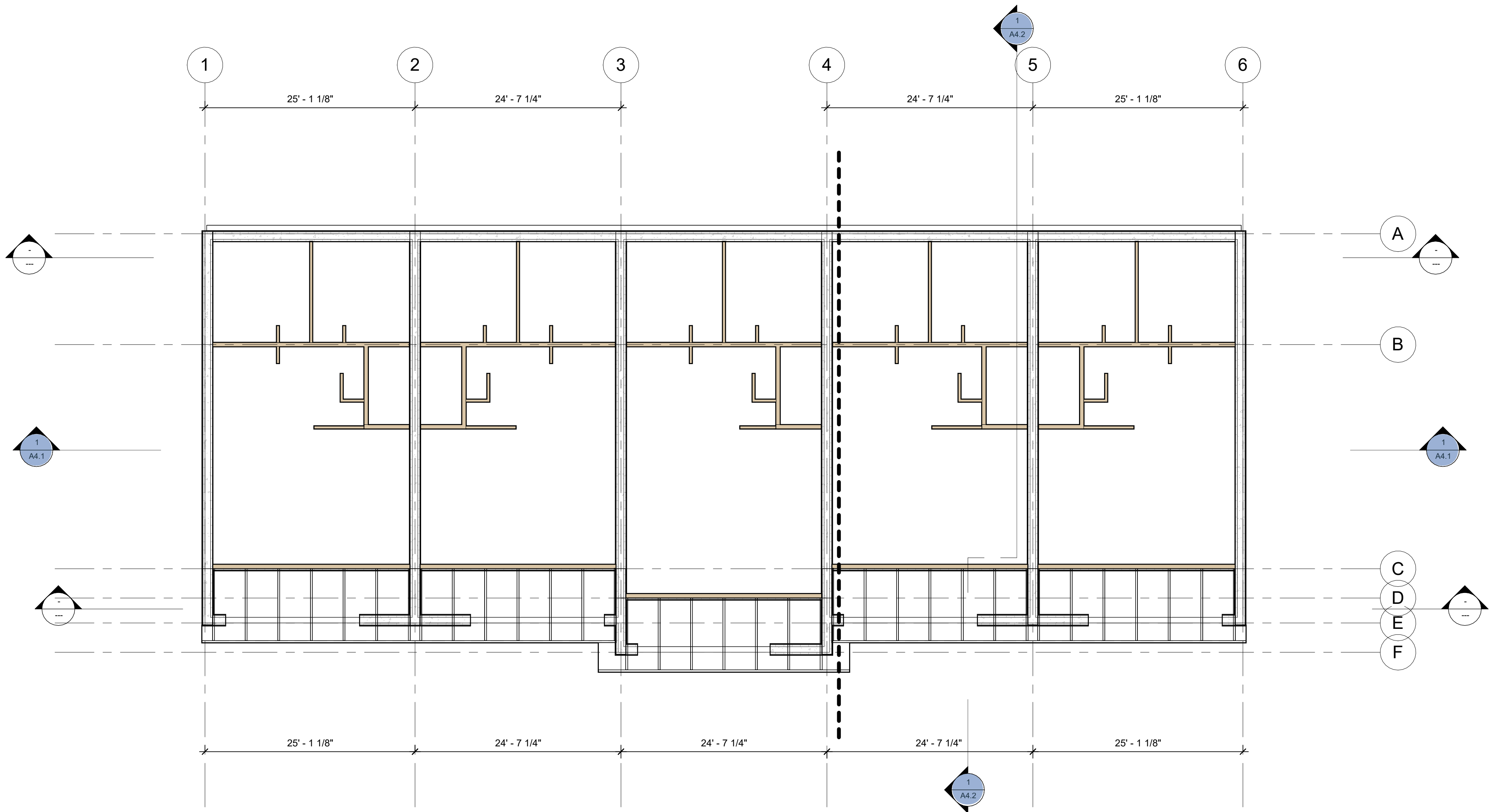
NORTH POINT:	STAMP:

PROJECT:
THE WORKS
904 10TH ST. NORTH, GOLDEN, B.C.

DRAWING:
REFLECTED CEILING PLAN

PROJECT NO: 2020-1	SCALE: 1 : 100
START DATE: 07/28/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A5.1



1 UPPER LEVEL R.C.P.
A5.1 SCALE - 1 : 100

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RE-ISSUE FOR
BUILDING PERMIT

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1	2022-03-25	ISSUED FOR BUILDING PERMIT
NO	DATE	DESCRIPTION

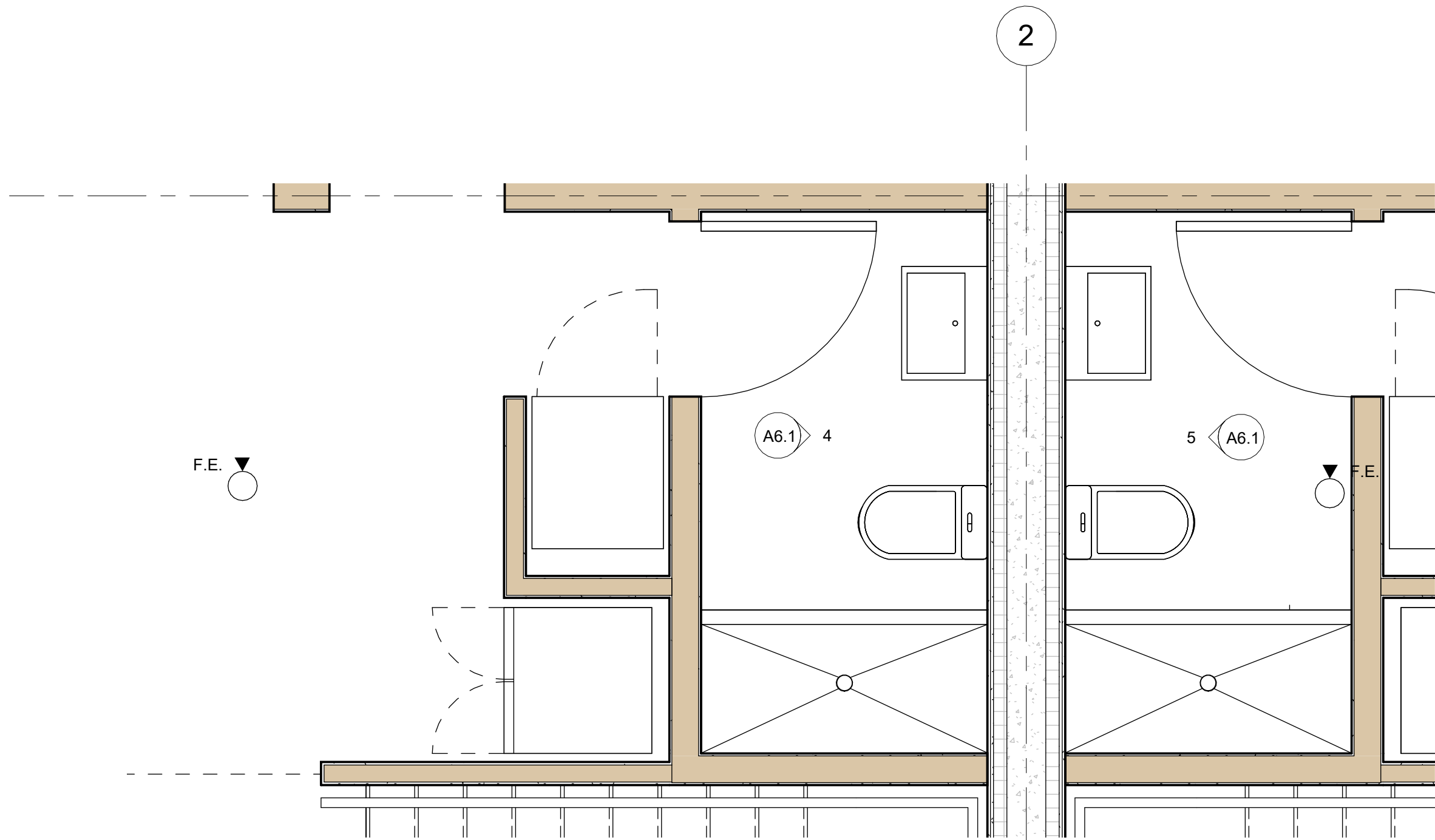
NORTH POINT:	STAMP:

PROJECT:
THE WORKS
904 10TH ST. NORTH, GOLDEN, B.C.

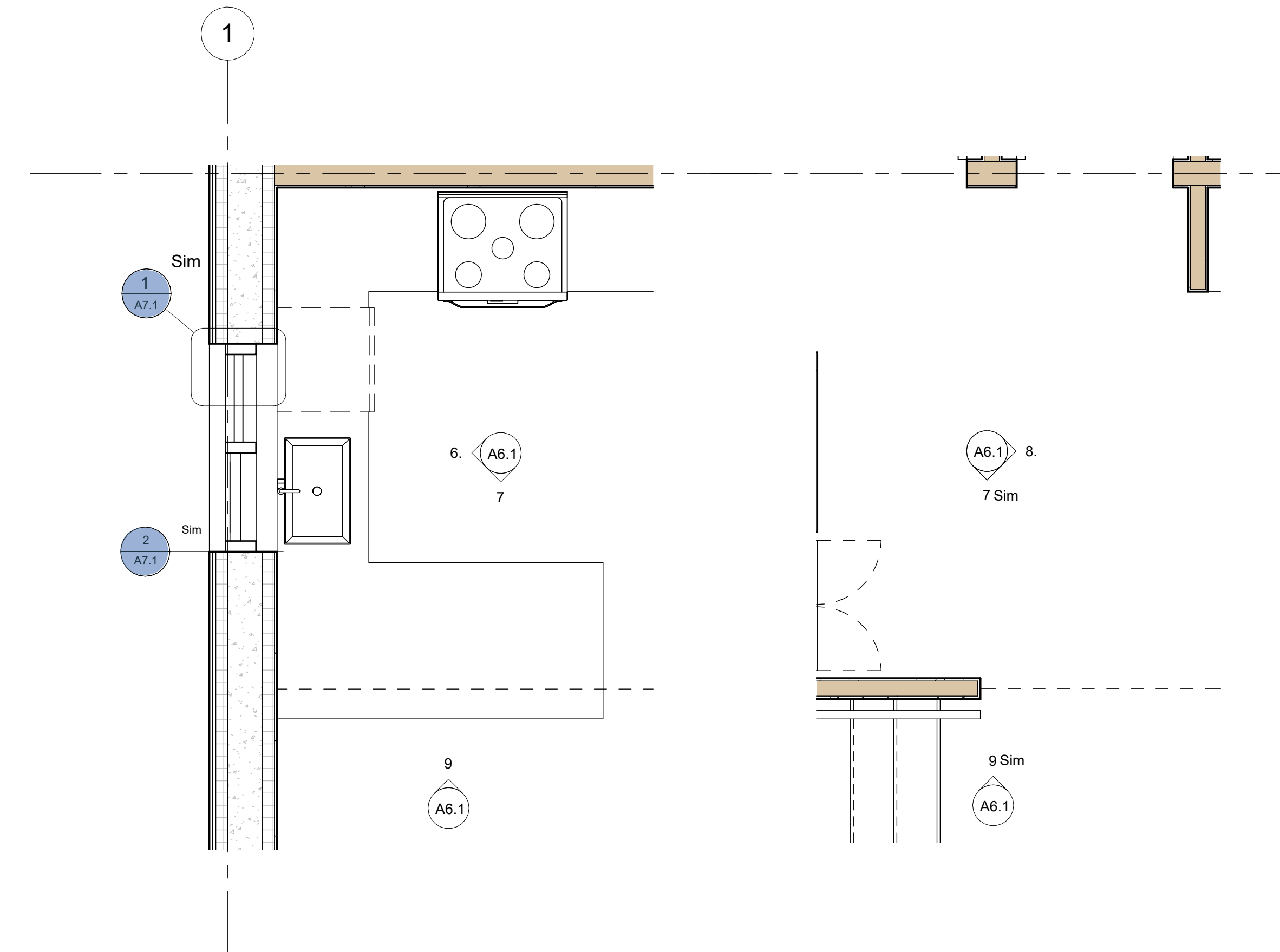
DRAWING:
PLAN & INTERIOR ELEVATION
DETAILS

PROJECT NO: 2020-1	SCALE: 1/2" = 1'-0"
START DATE: 08/04/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A6.1

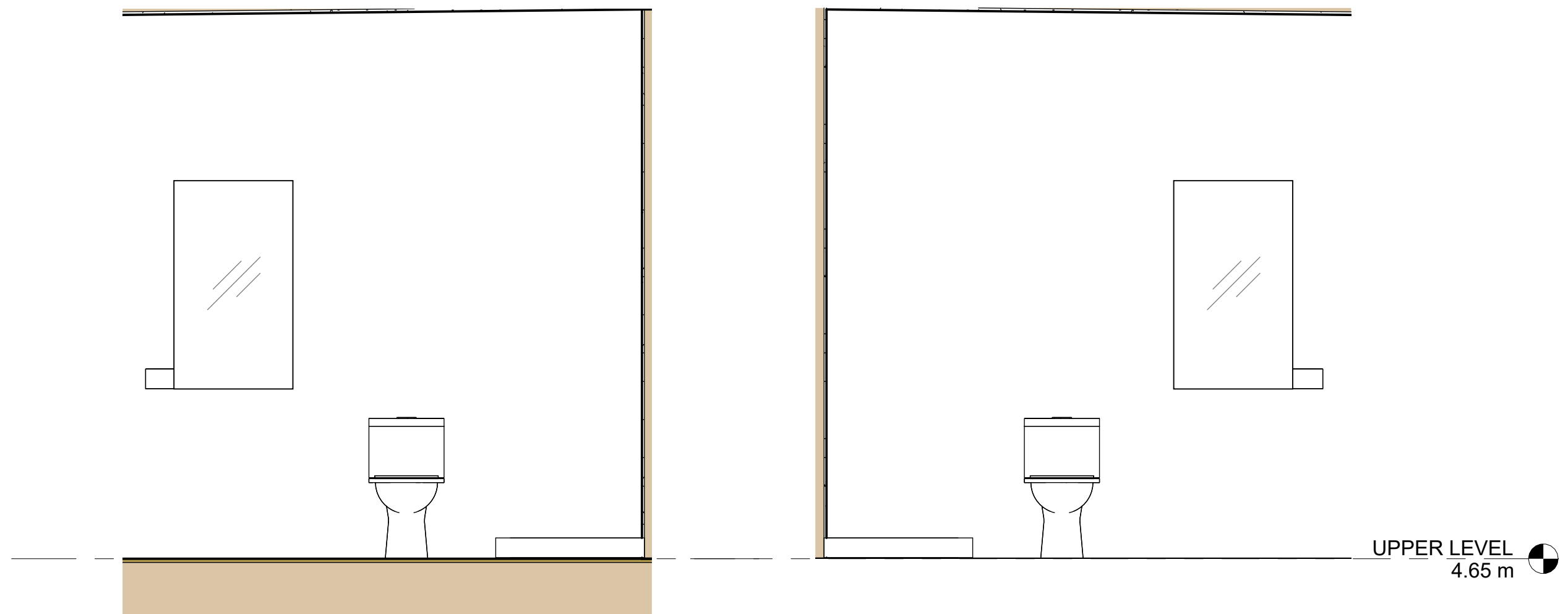


1 UPPER LEVEL A - BATHROOM PLANS
A6.1 SCALE - 1/2" = 1'-0"



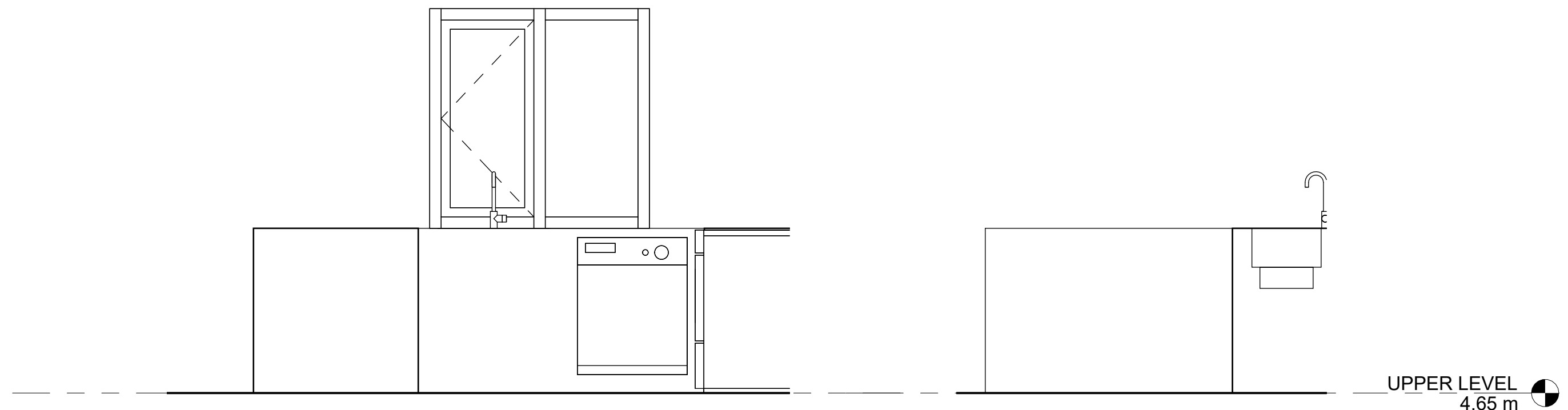
2 UPPER LEVEL A - KITCHEN 1 PLAN
A6.1 SCALE - 1/2" = 1'-0"

3 UPPER LEVEL A - KITCHEN 2 PLAN
A6.1 SCALE - 1/2" = 1'-0"



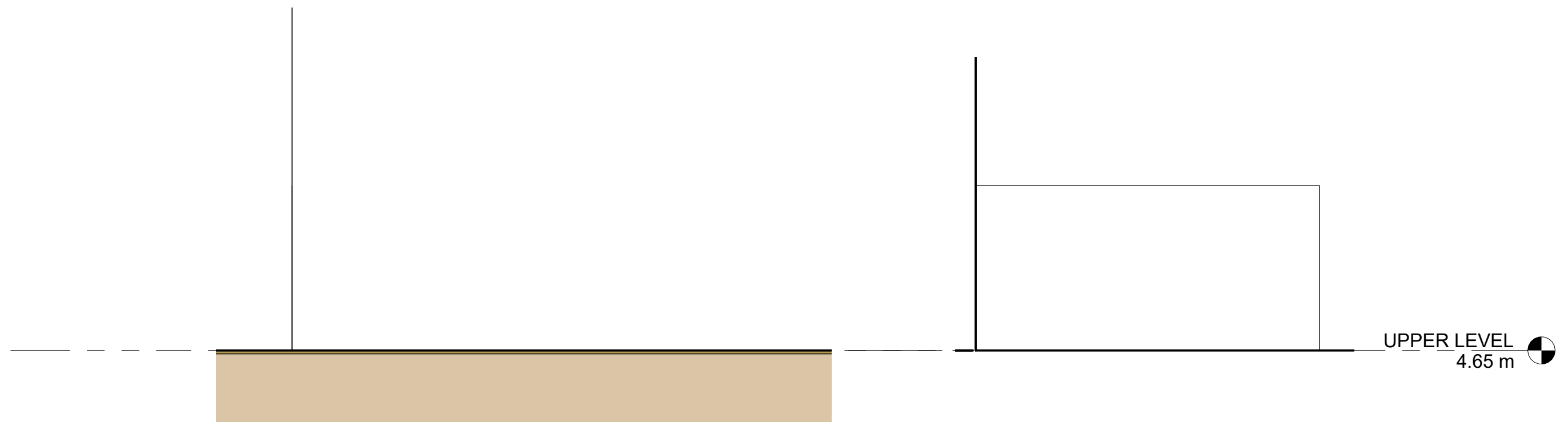
4 BATHROOM 1 ELEVATION
A6.1 SCALE - 1/2" = 1'-0"

5 BATHROOM 2 ELEVATION
A6.1 SCALE - 1/2" = 1'-0"



6. KITCHEN 1 ELEVATION
A6.1 SCALE - 1/2" = 1'-0"

7 KITCHEN COUNTER ELEVATION (TYP.)
A6.1 SCALE - 1/2" = 1'-0"



8. KITCHEN 2 ELEVATION
A6.1 SCALE - 1/2" = 1'-0"

9 KITCHEN BAR ELEVATION (TYP.)
A6.1 SCALE - 1/2" = 1'-0"

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Tel: 604.842.3350

CONSULTANT: DRAWING

RE-ISSUE FOR BUILDING PERMIT

2	2023-02-01	RE-ISSUED FOR BUILDING PERMIT
1	2022-03-25	ISSUED FOR BUILDING PERMIT
NO	DATE	DESCRIPTION

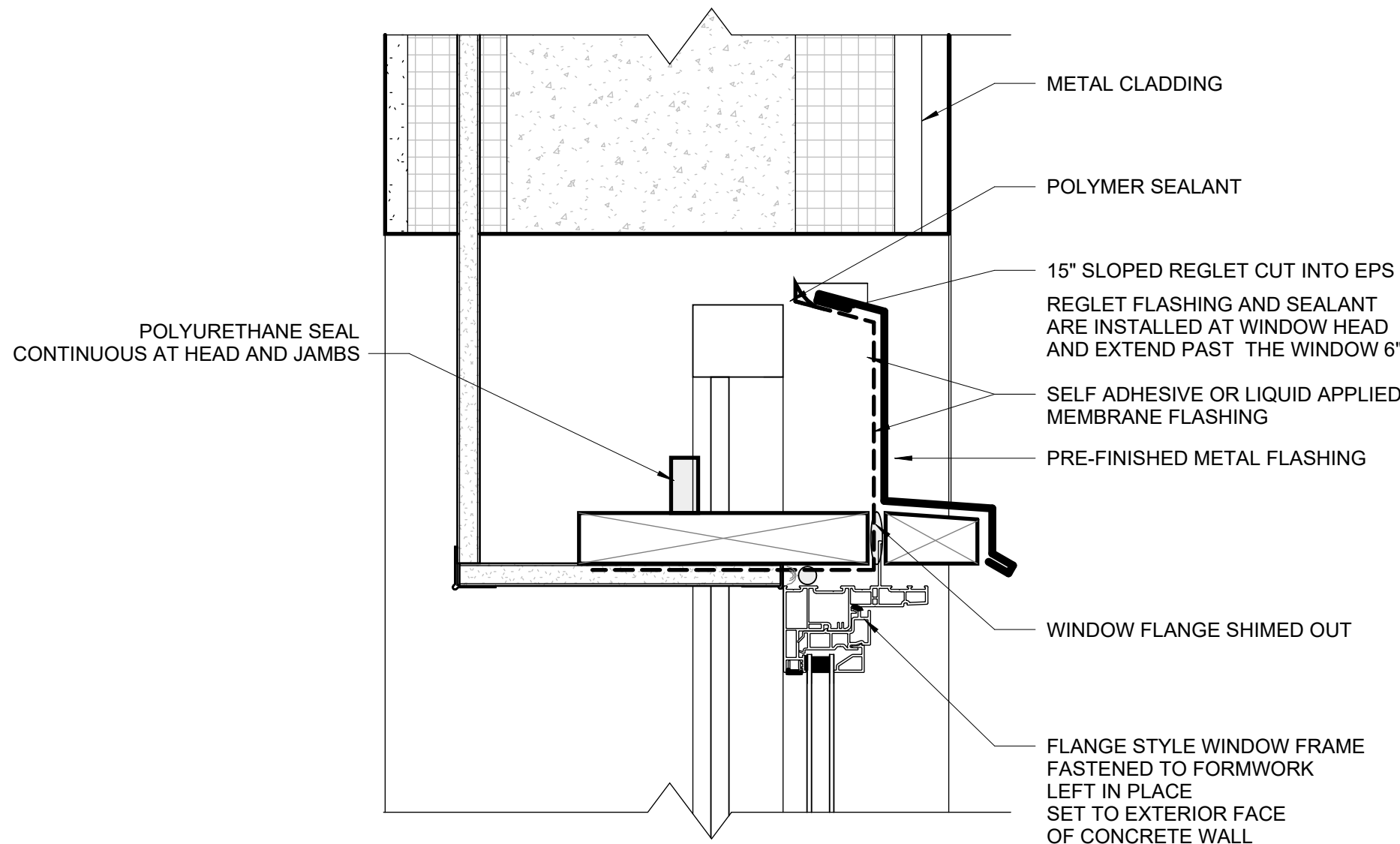
NORTH POINT:	STAMP:

PROJECT:
THE WORKS
904 10TH ST. NORTH, GOLDEN, B.C.

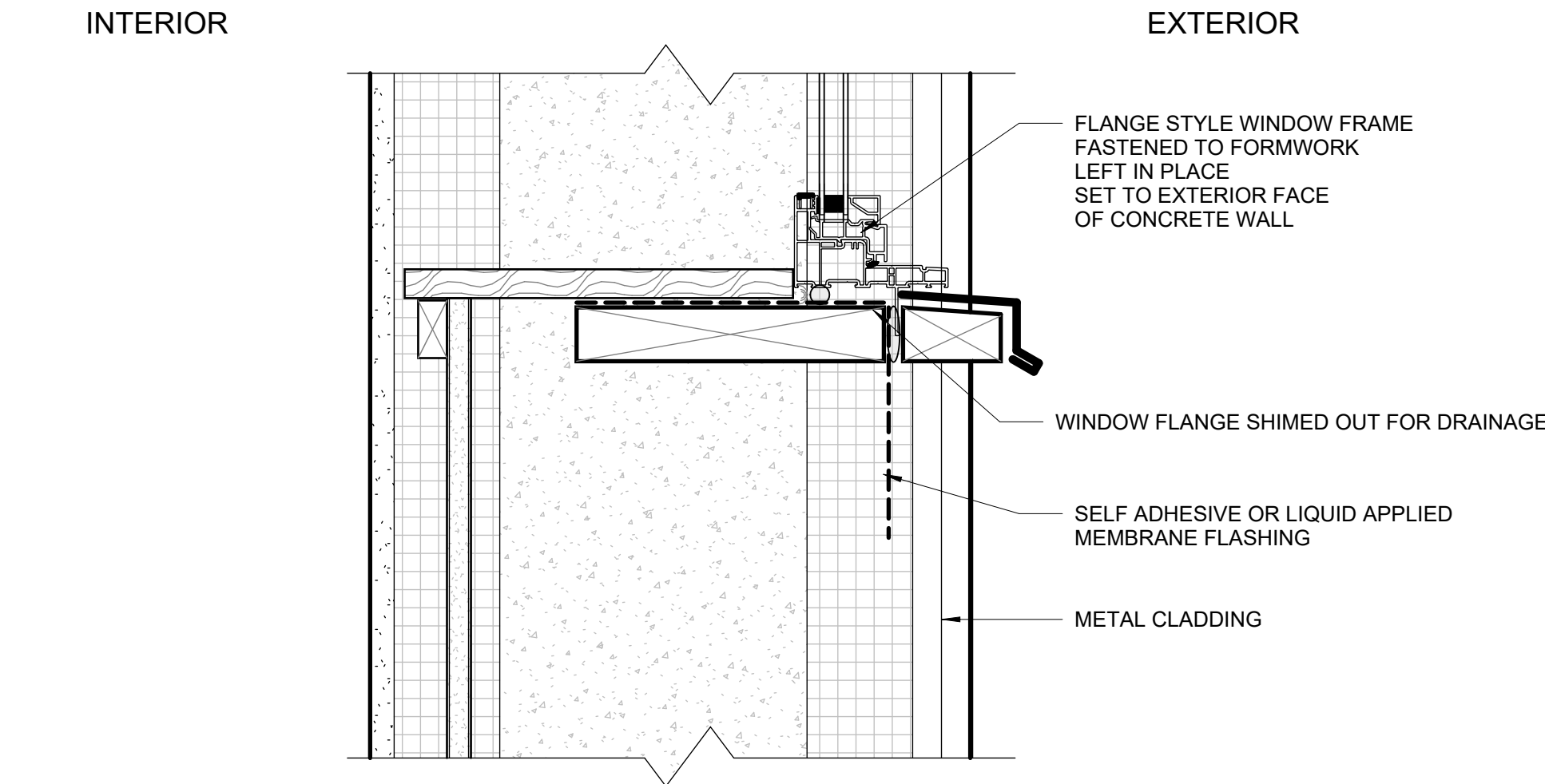
DRAWING:
SECTION DETAILS

PROJECT NO: 2020-1	SCALE: As indicated
START DATE: 07/23/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

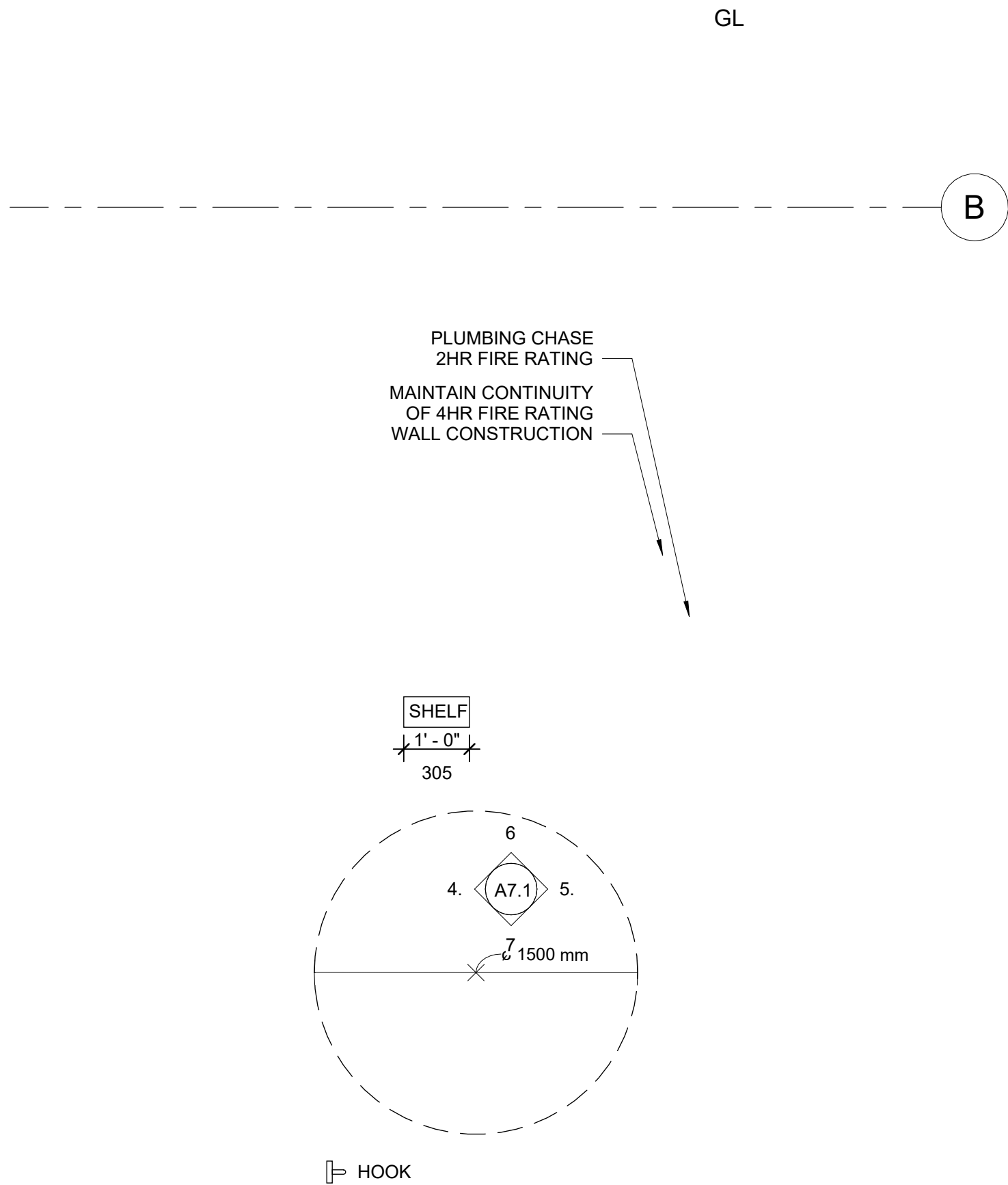
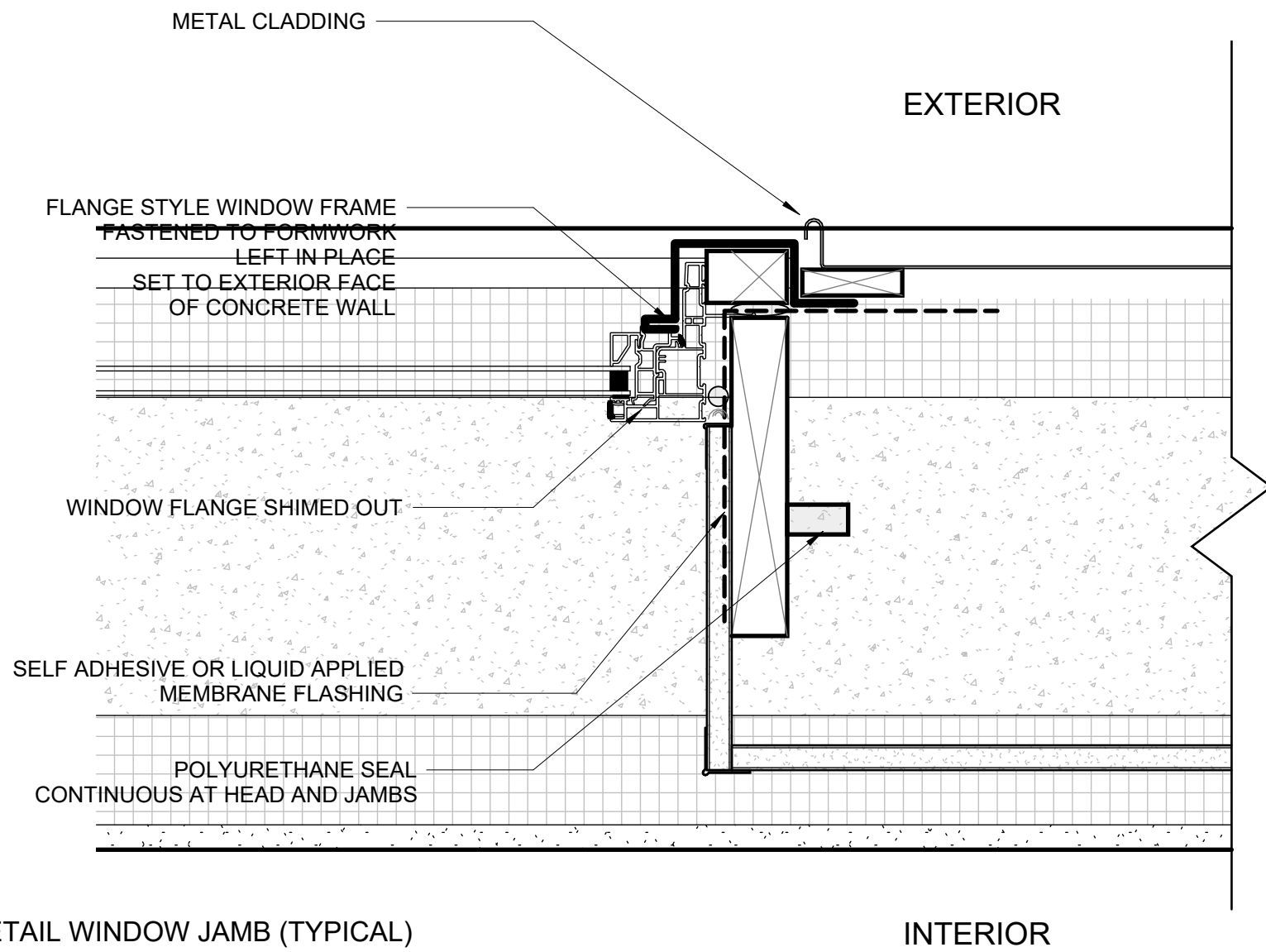
A7.1



2 DETAIL WINDOW HEAD & SILL (TYPICAL).
A7.1 SCALE - 3" = 1'-0"



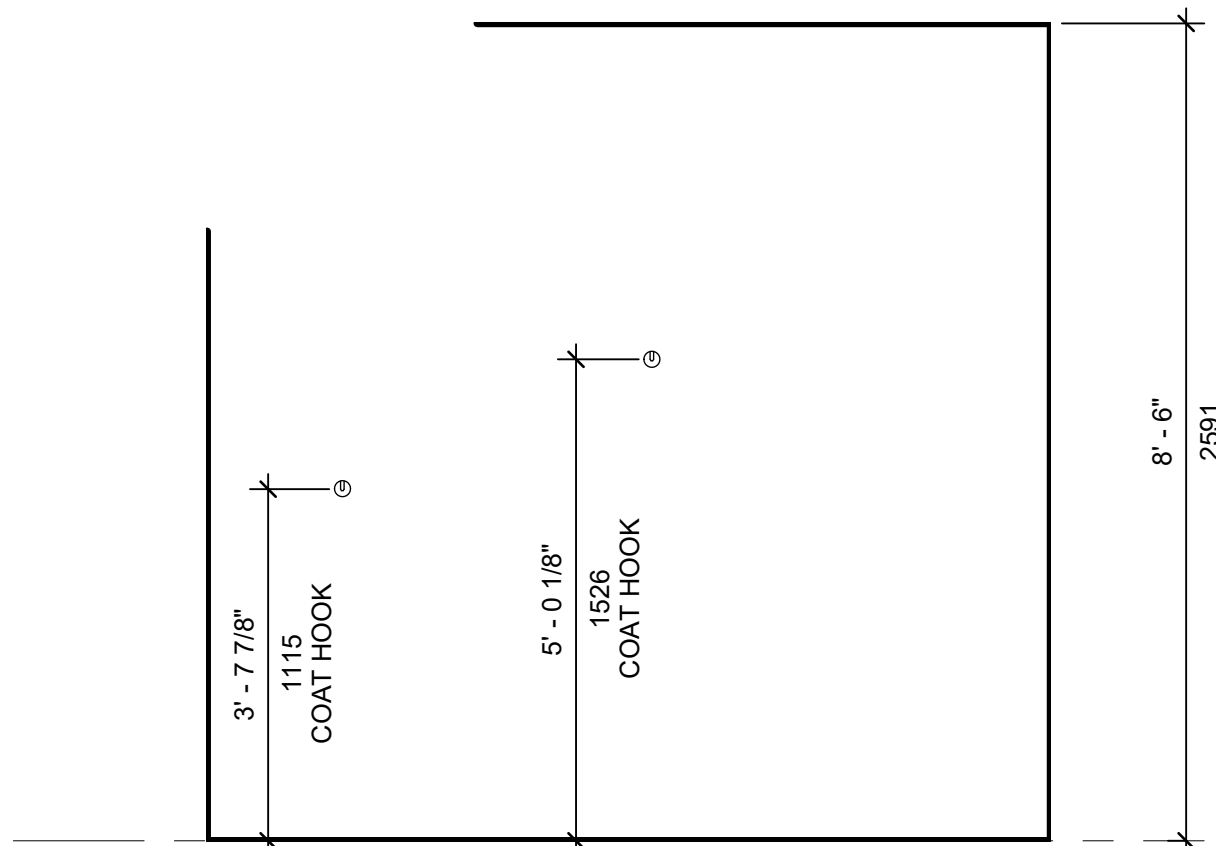
1 DETAIL WINDOW JAMB (TYPICAL)
A7.1 SCALE - 3" = 1'-0"



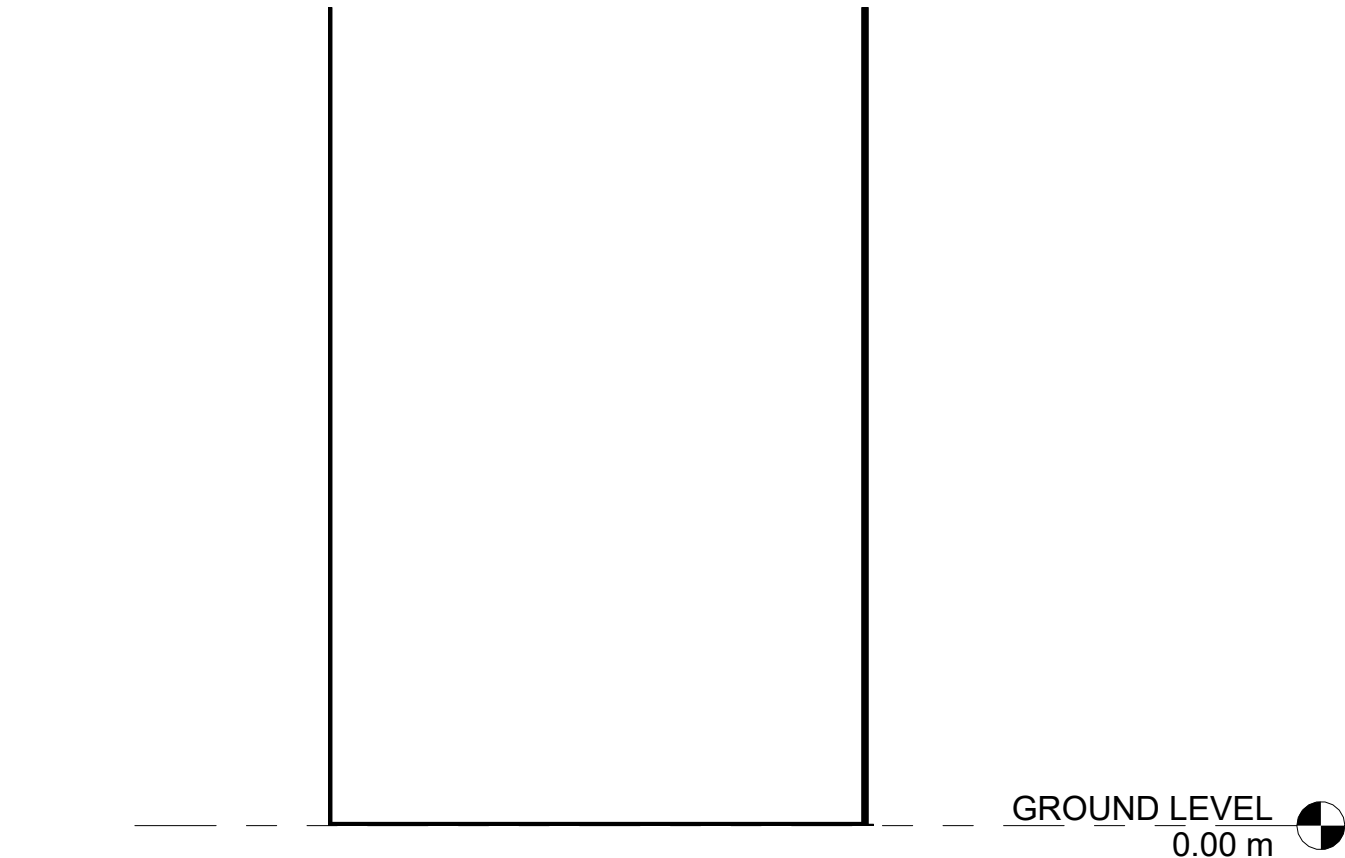
3 PLAN DETAIL - ACCESSIBLE WR
A7.1 SCALE - 1/2" = 1'-0"

NOTE:
REFER TO 1/A7.5 FOR LAVATORY AND TOILET CLEARANCES.
ALL FIXTURES AND ROOM SIZE AND LAYOUT AS PER BCBC 3.8.3.12
WATER CLOSET PER 3.8.3.13.
LAVATORY AND MIRROR PER 3.8.3.15.

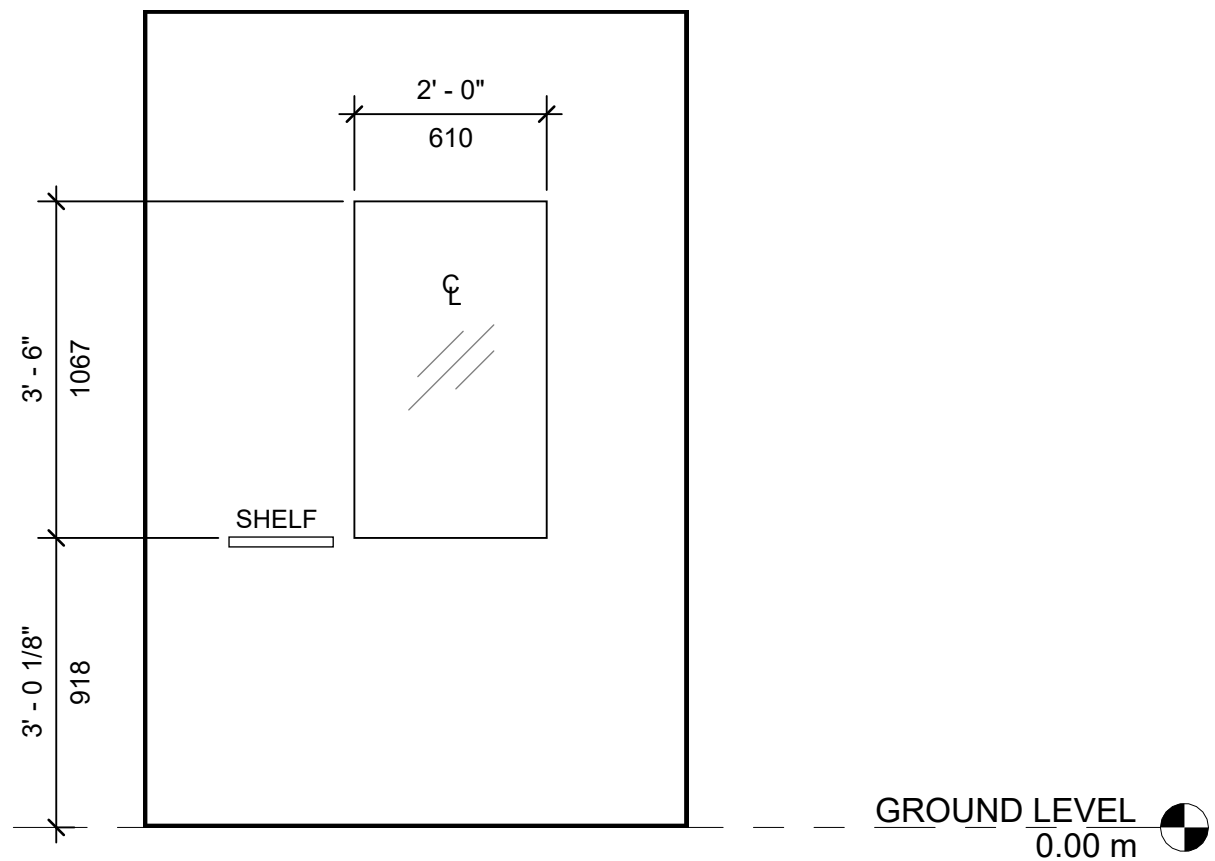
MAINTAIN CONTINUITY OF
4HR FIRE RATING WALL
CONSTRUCTION



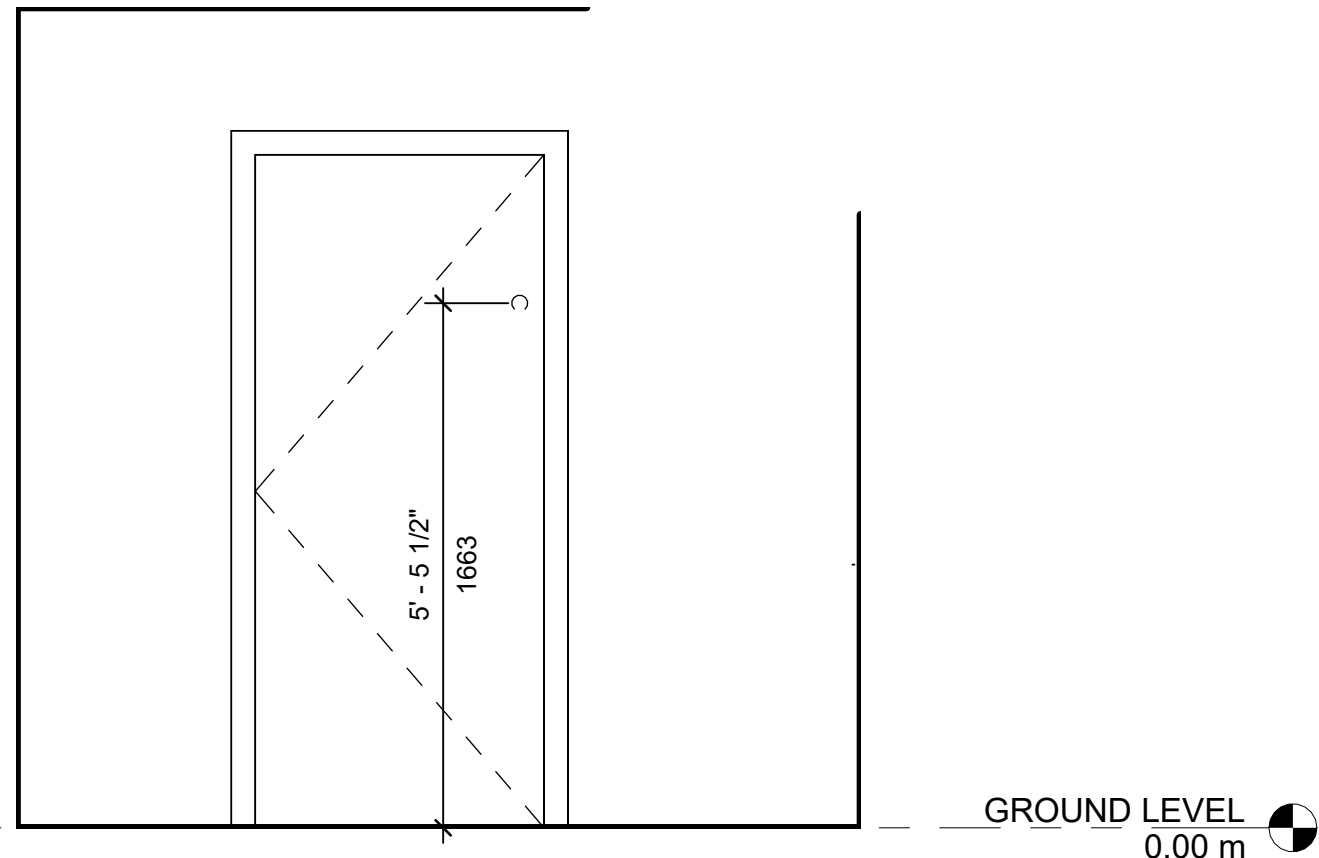
4 1 - c
A7.1 SCALE - 1/2" = 1'-0"



7 1 - b
A7.1 SCALE - 1/2" = 1'-0"



6 1 - d
A7.1 SCALE - 1/2" = 1'-0"



5 1 - a
A7.1 SCALE - 1/2" = 1'-0"

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CONSULTANT: DRAWING

RE-ISSUE FOR
BUILDING PERMIT

2	2023-02-01	RE-ISSUED FOR BUILDING PERMIT
1	2022-03-25	ISSUED FOR BUILDING PERMIT
NO	DATE	DESCRIPTION

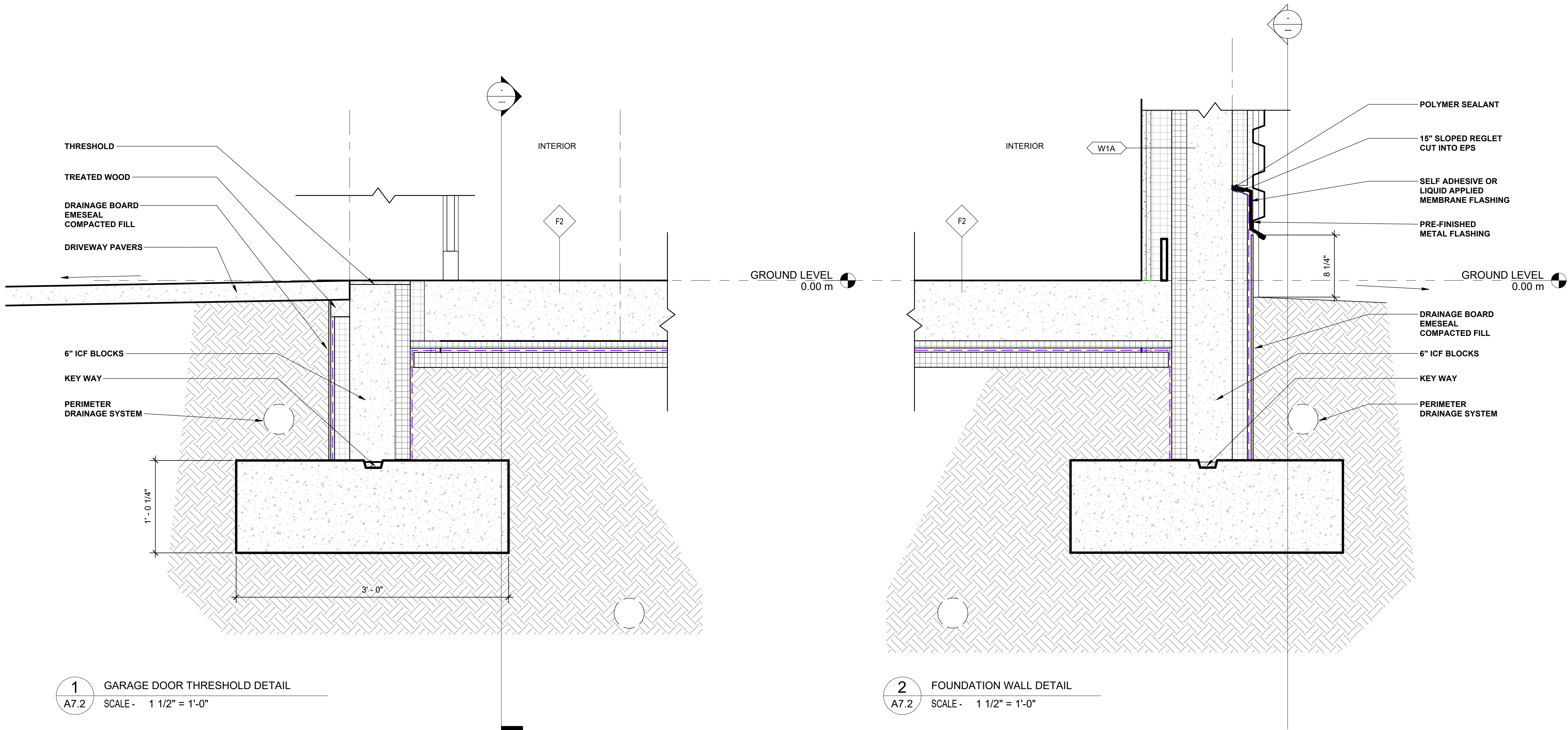
NORTH POINT:	STAMP:

PROJECT:
THE WORKS
904 10TH ST. NORTH, GOLDEN, B.C.

DRAWING:
SECTION DETAILS

PROJECT NO: 2020-1	SCALE: 1 1/2" = 1'-0"
START DATE: 08/28/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A7.2



1 GARAGE DOOR THRESHOLD DETAIL
A7.2 SCALE - 1 1/2" = 1'-0"

2 FOUNDATION WALL DETAIL
A7.2 SCALE - 1 1/2" = 1'-0"

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1	2022-03-25	ISSUED FOR BUILDING PERMIT
NO	DATE	DESCRIPTION

NORTH POINT:	STAMP:

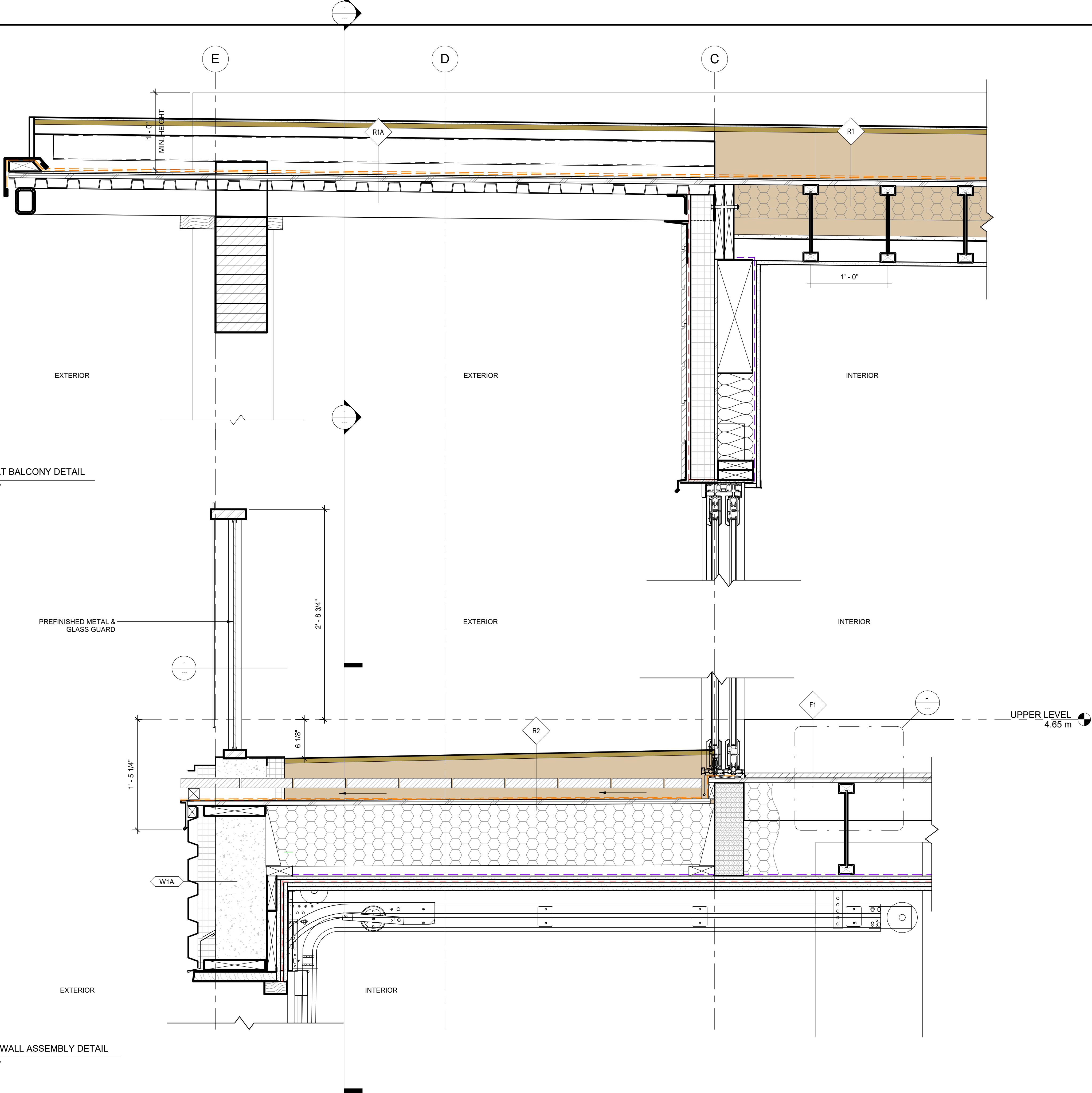
PROJECT:
THE WORKS
904 10TH ST. NORTH, GOLDEN, B.C.

DRAWING:
SECTION DETAILS

PROJECT NO: 2020-1	SCALE: 1 1/2" = 1'-0"
START DATE: 08/04/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A7.3

1 ROOF OVERHANG AT BALCONY DETAIL
SCALE - 1 1/2" = 1'-0"



2 BALCONY FLOOR & WALL ASSEMBLY DETAIL
SCALE - 1 1/2" = 1'-0"

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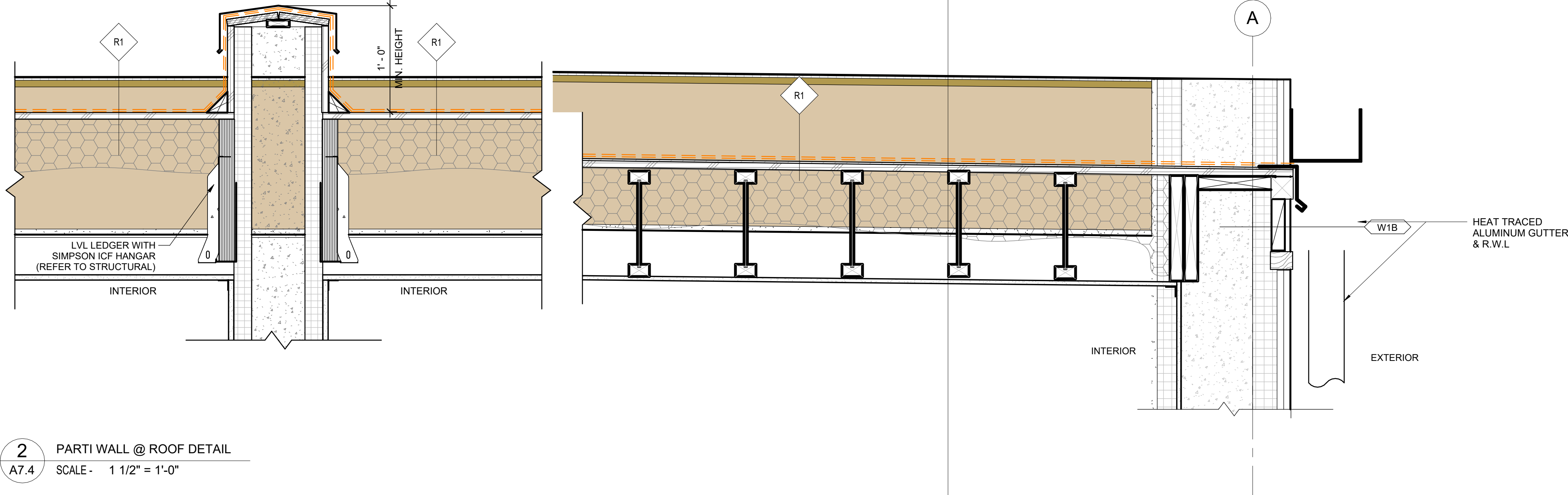
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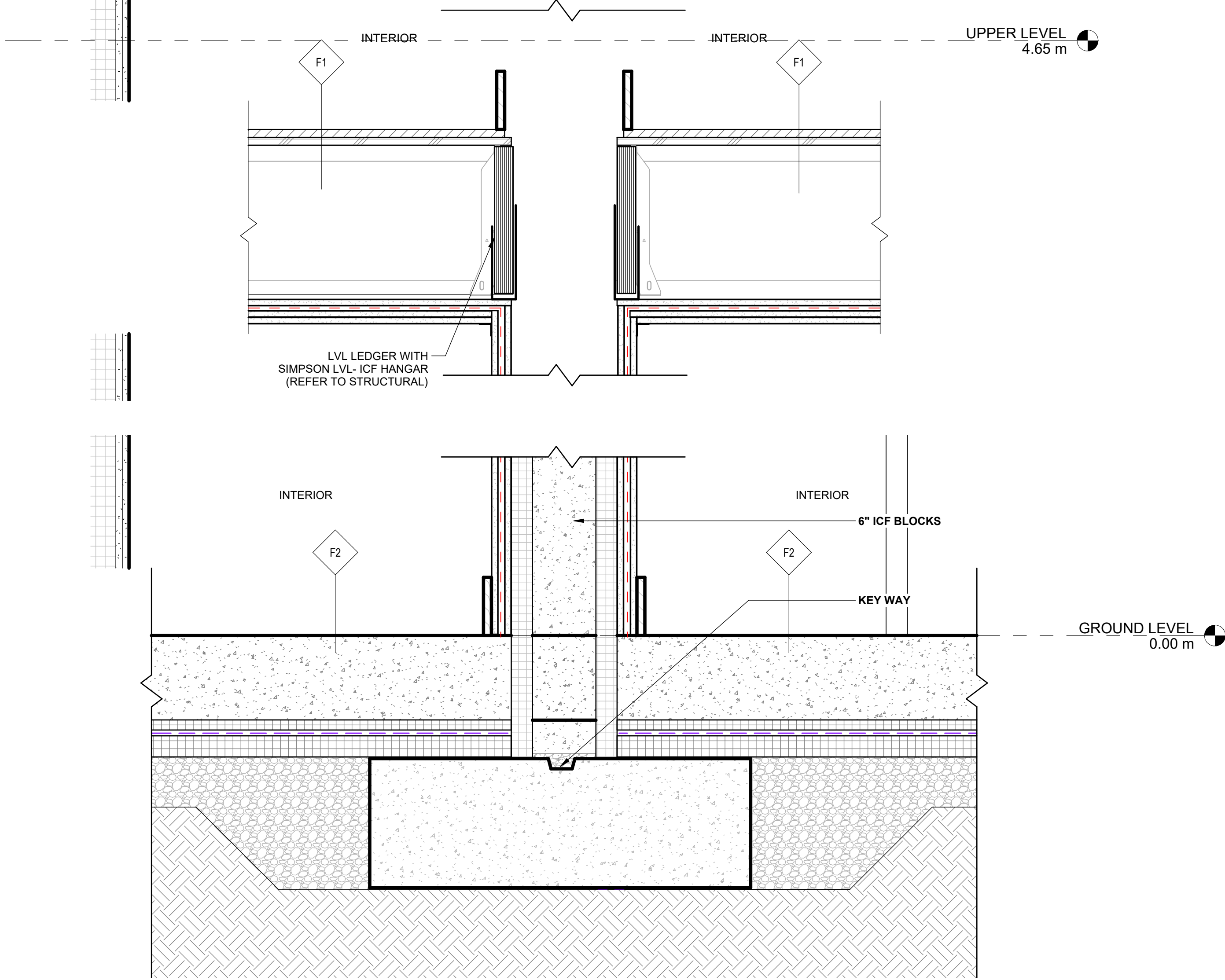
DRAWING:
SECTION DETAILS

PROJECT NO: 2020-1	SCALE: 1 1/2" = 1'-0"
START DATE: 08/04/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A7.4



2 PARTI WALL @ ROOF DETAIL
A7.4 SCALE - 1 1/2" = 1'-0"



1. PARTI WALL FLOOR & FOUNDATION DETAIL
A7.4 SCALE - 1 1/2" = 1'-0"

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NO	DATE	DESCRIPTION

NORTH POINT:	STAMP:

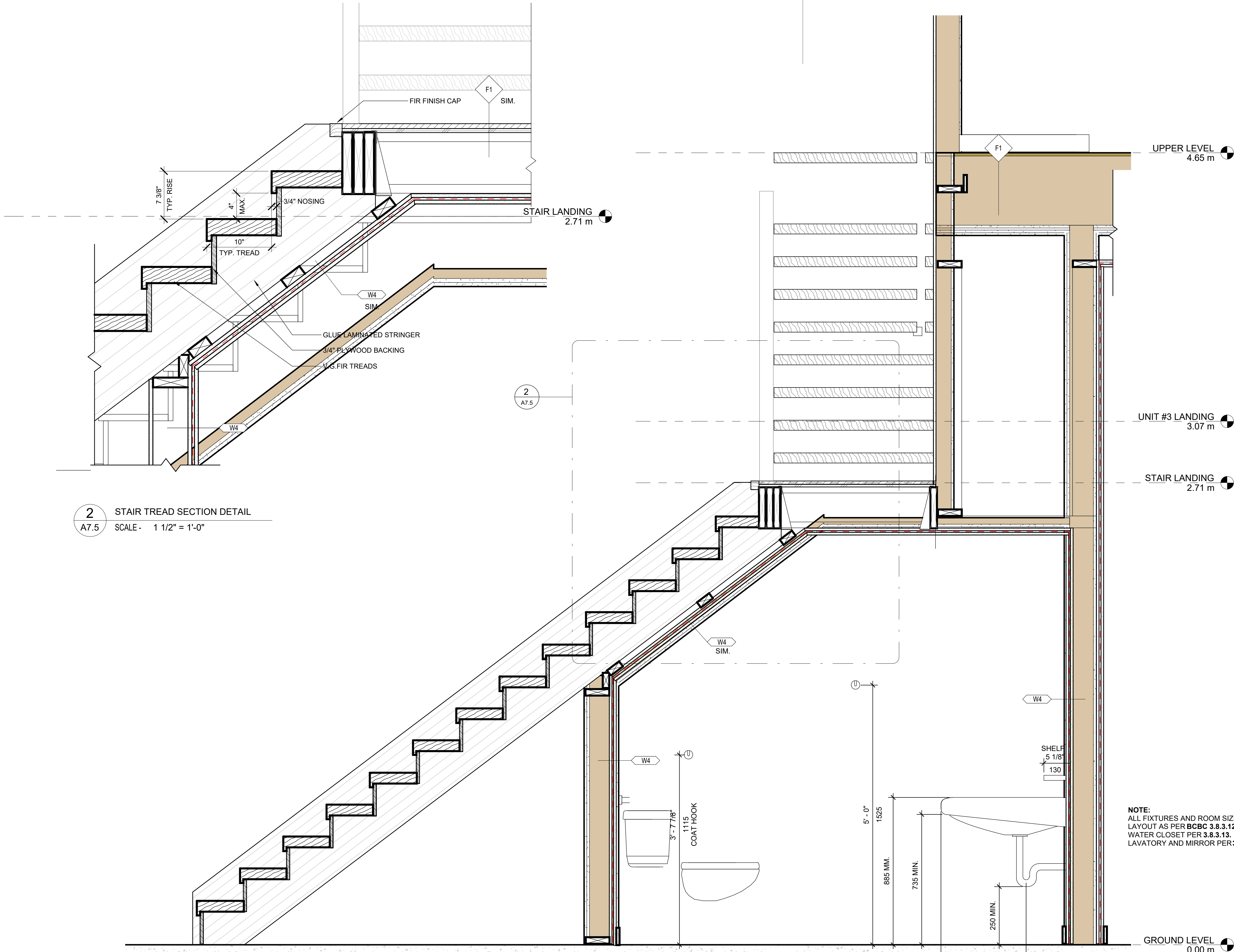
PROJECT:
THE WORKS
904 10TH ST. NORTH, GOLDEN, B.C.

DRAWING:
STAIR SECTION & WC DETAILS

PROJECT NO: 2020-1	SCALE: As indicated
START DATE: 08/04/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A7.5

1
A4.1



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NO	DATE	DESCRIPTION

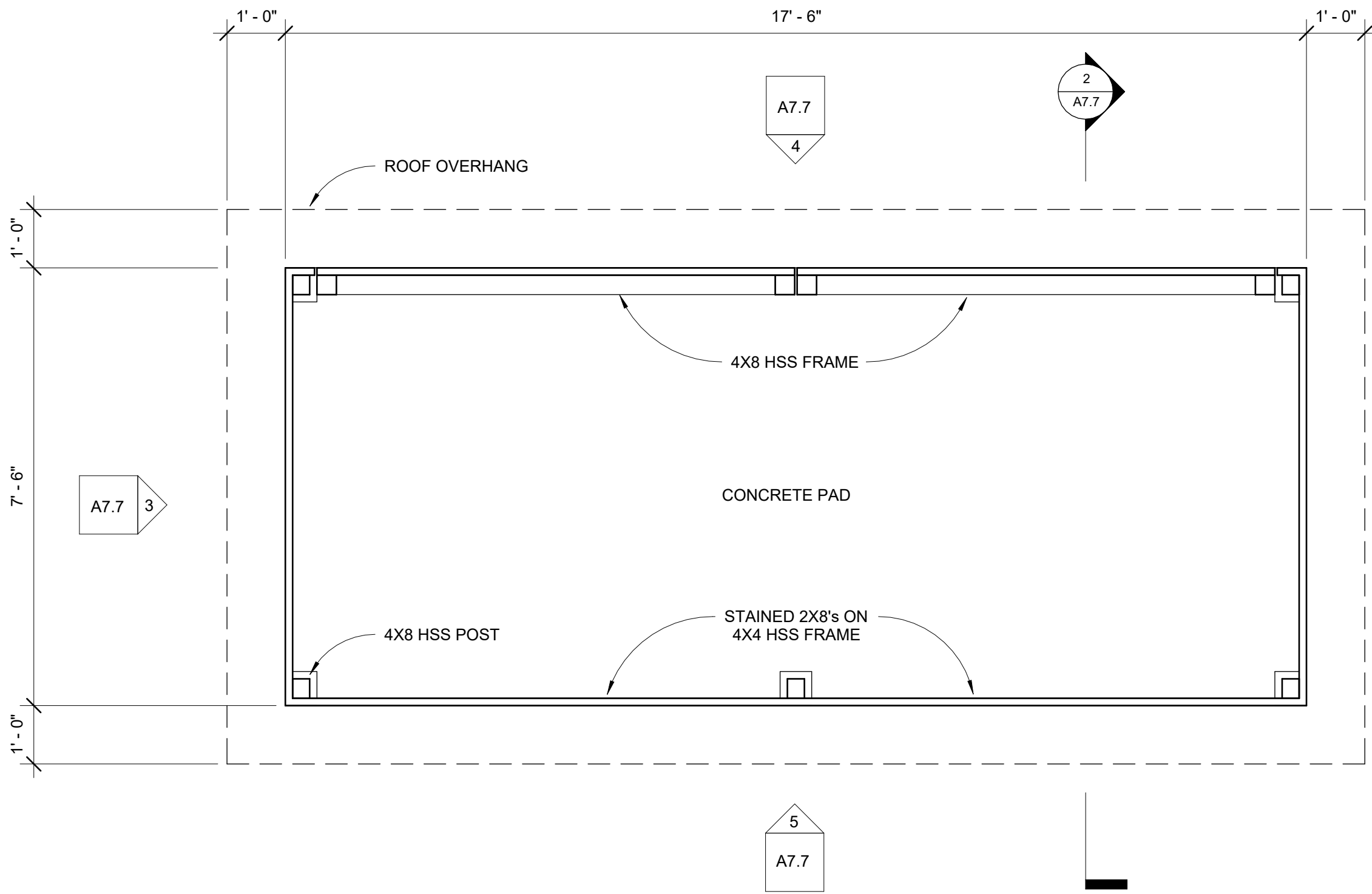
NORTH POINT:	STAMP:

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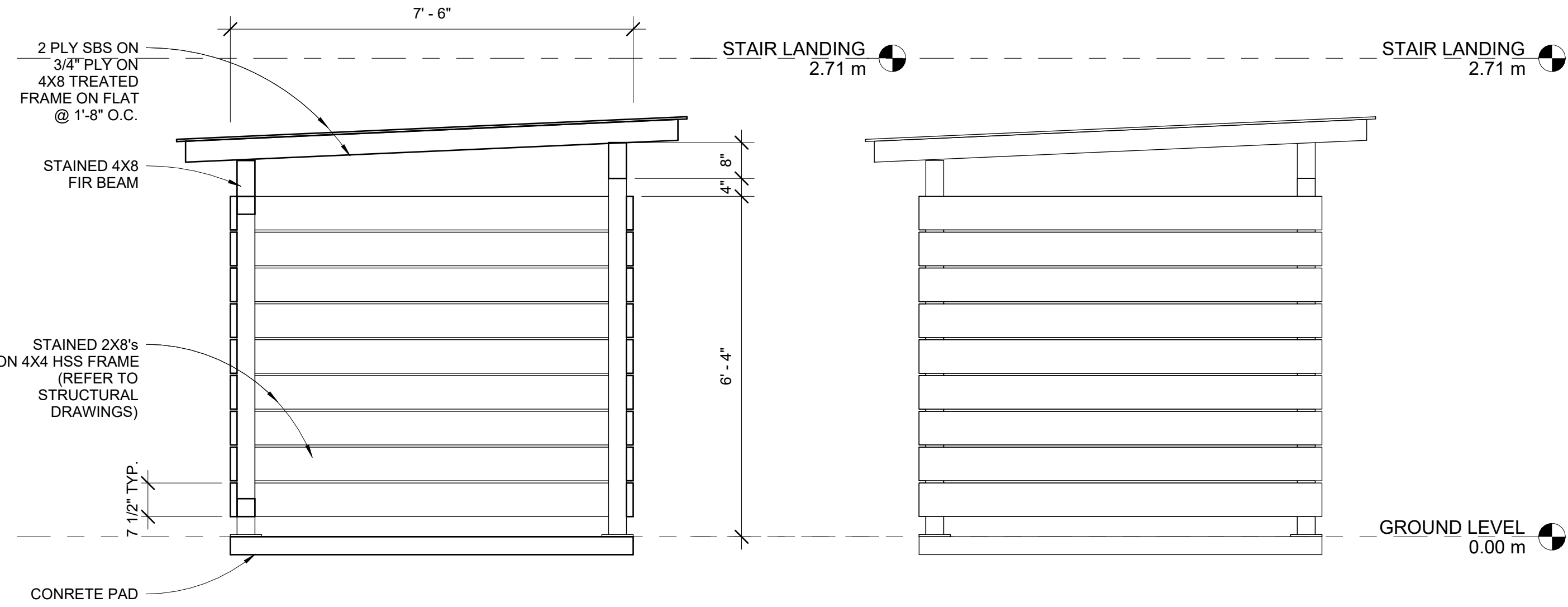
DRAWING:
RECYCLING SHED

PROJECT NO: 2020-1	SCALE: 1/2" = 1'-0"
START DATE: 03/24/22	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A7.7

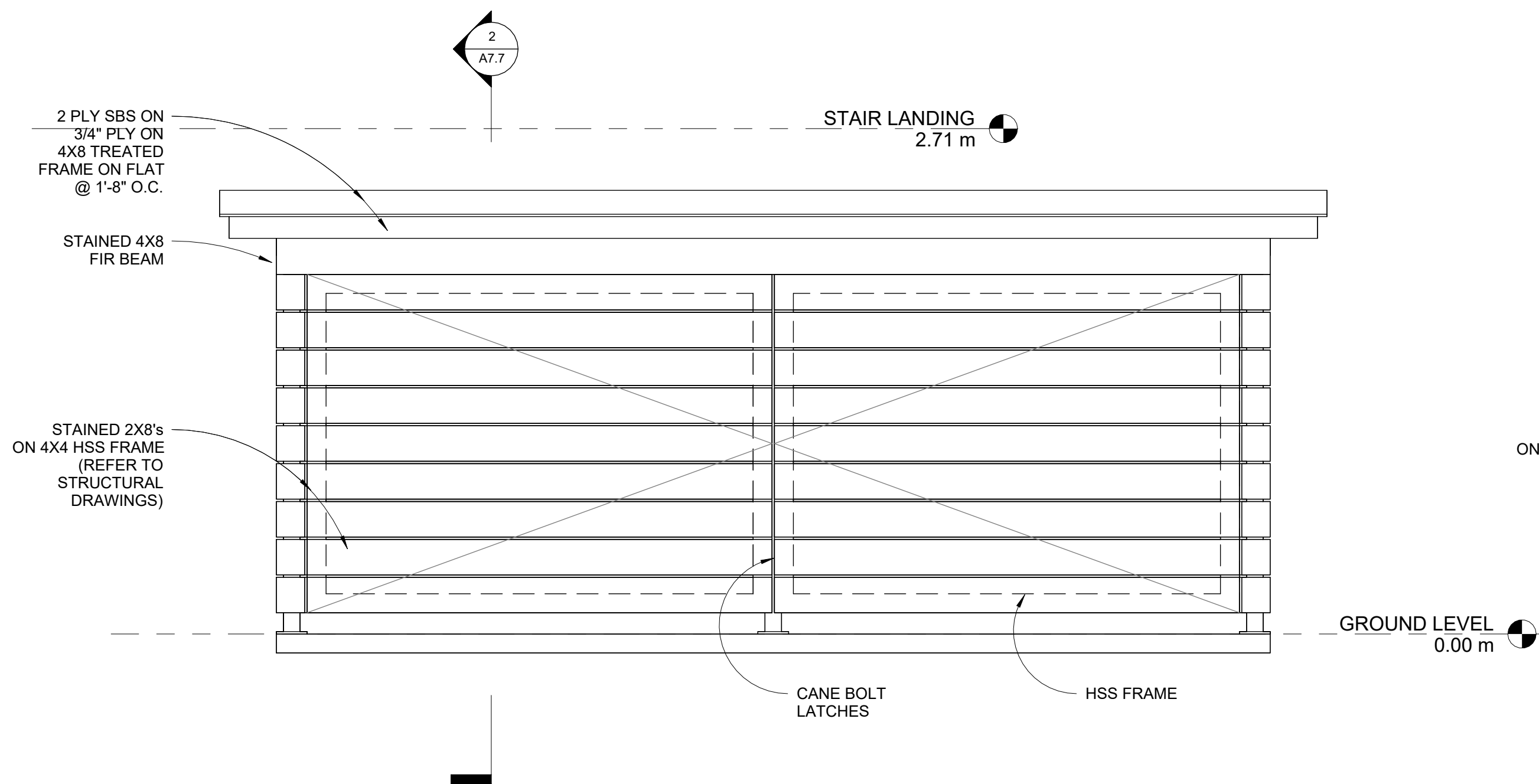


1 PLAN DETAIL - GARBAGE ENCLOSURE
A7.7 SCALE - 1/2" = 1'-0"

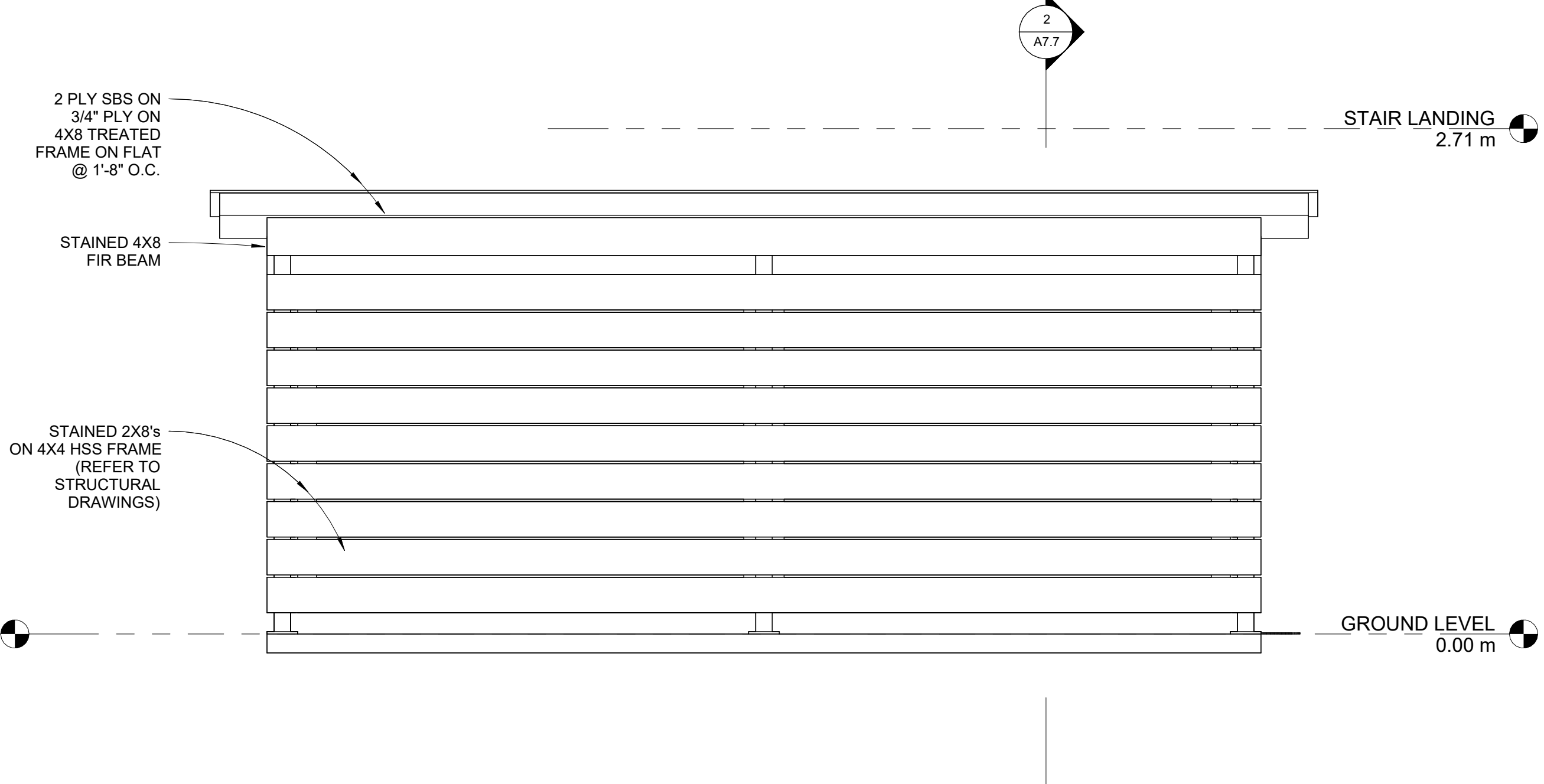


2 CROSS SECTION
A7.7 SCALE - 1/2" = 1'-0"

3 SIDE ELEVATION
A7.7 SCALE - 1/2" = 1'-0"



4 FRONT ELEVATION
A7.7 SCALE - 1/2" = 1'-0"



5 BACK ELEVATION
A7.7 SCALE - 1/2" = 1'-0"

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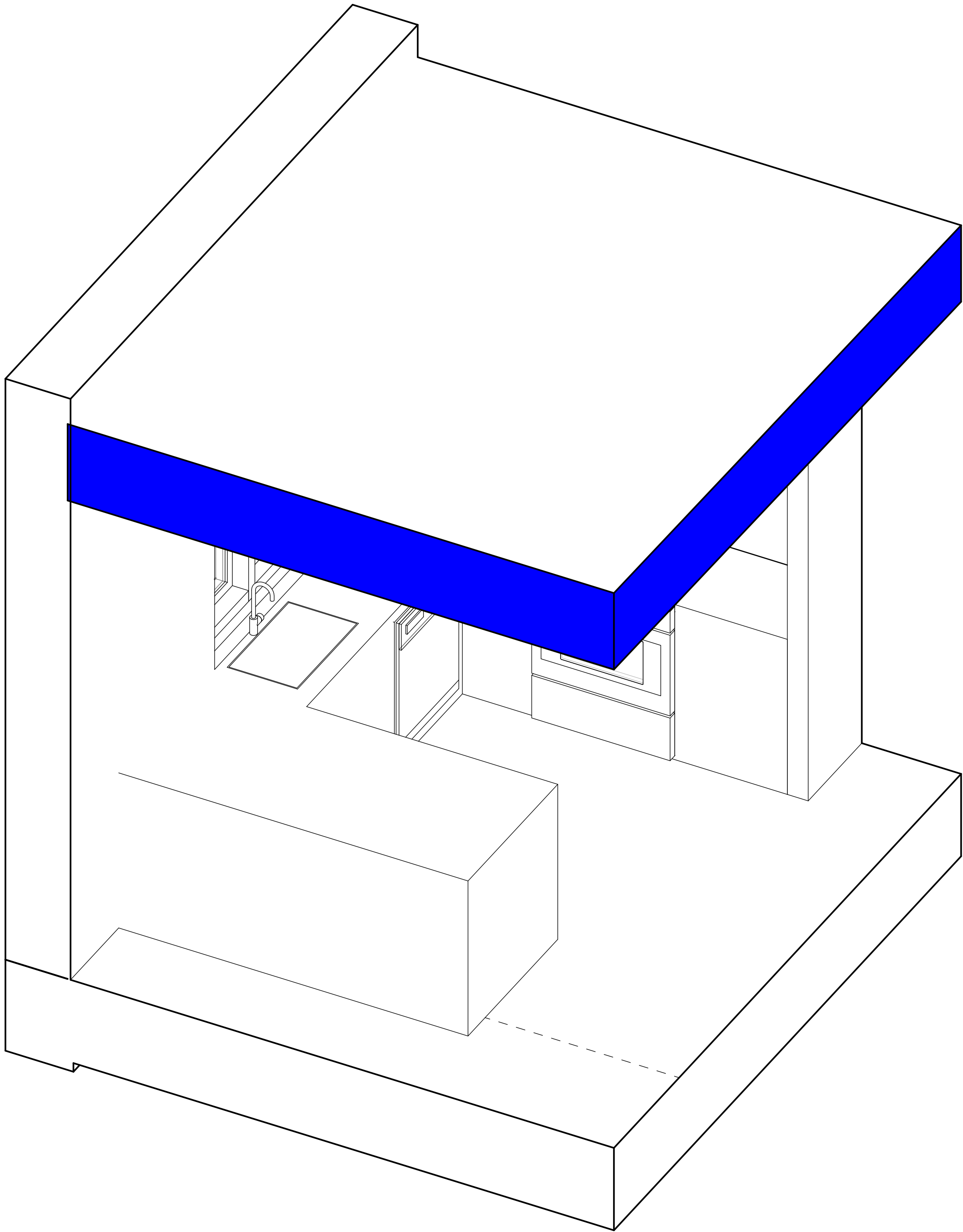
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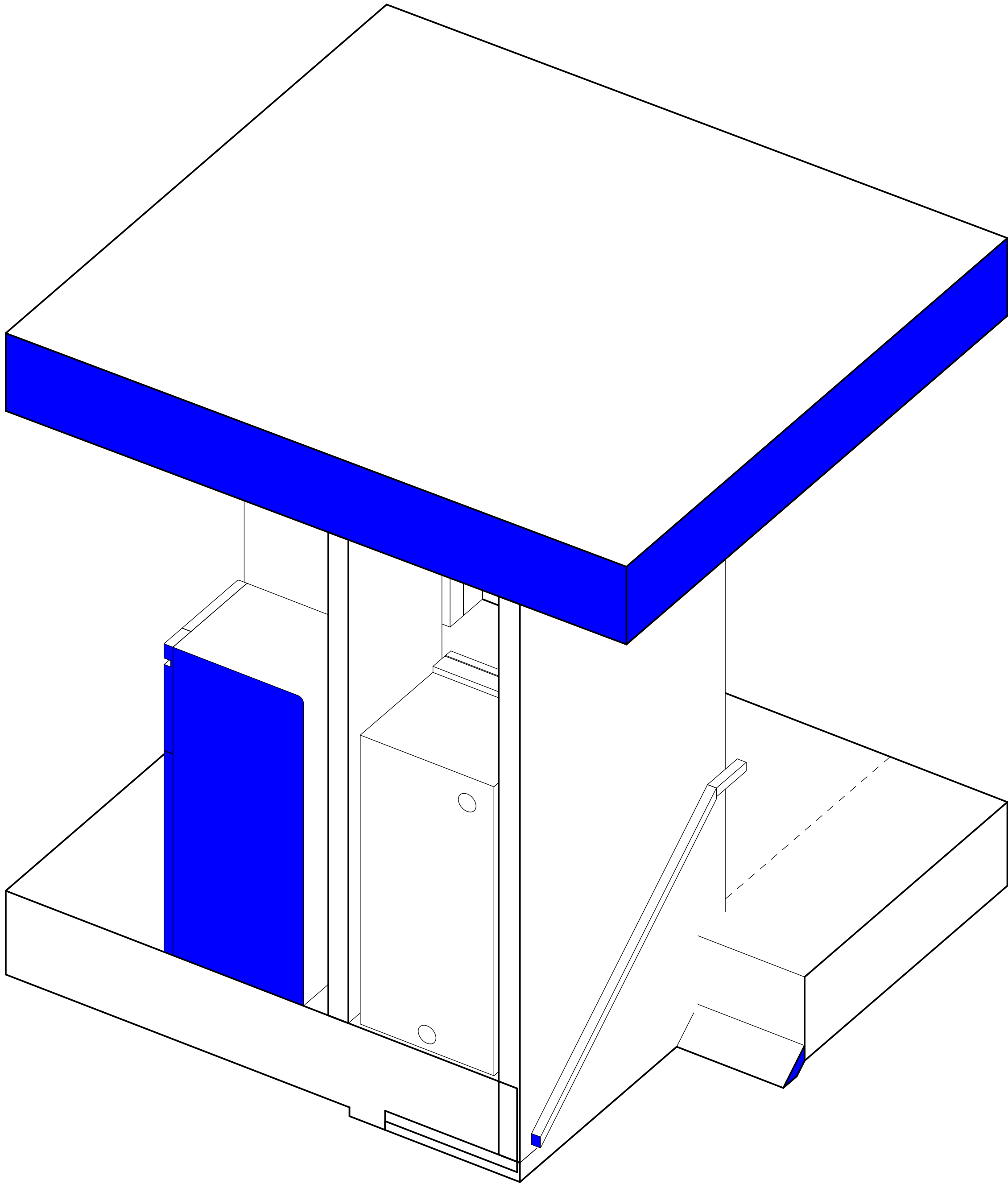
DRAWING:
KITCHEN DETAILS

PROJECT NO: 2020-1	SCALE:
START DATE: 08/28/20	DRAWN BY: GB
FORMAT: 34"x22"	CHECKED BY: PB
SHEET NUMBER:	

A8.0



1 KITCHEN ISOMETRIC VIEW
A8.0 SCALE -



2 KITCHEN ISOMETRIC VIEW TYPE 2
A8.0 SCALE -

THE WORKS GOLDEN, BC

ISSUED FOR: REVISED DEVELOPMENT PERMIT

LANDSCAPE PLAN

DRAWING LIST:

L1.0 LANDSCAPE SITE PLAN

L1.1 PLANT SCHEDULE

L1.2 PRELIMINARY COST ESTIMATE

2025.10.22



SUBMITTED TO:

Town of Golden

Phil Armstrong
Manager of Development Services/Planner
Phone: 250 344-2271 ext. 236
Email: planner@golden.ca



DEVELOPER

HR Pacific Construction Management
David Ratzlaff

PO Box 1304, 901 - 10th Street North
Golden, BC V0A 1H0
250.344.4999 ph | 250.344.4998 fax

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LEGEND

- PROPERTY LINE
- PROPOSED UNDERGROUND UTILITIES - REFER TO CIVIL + SITE SERVICING PLAN
- PROPOSED BUILDINGS - REFER TO ARCHITECTURAL
- PROPOSED CONCRETE PAVING PER CIVIL APPROX. AREA: 166m² (1,785 #2)
- PROPOSED ASPHALT PAVING PER CIVIL APPROX. AREA: 585m² (6,300 #2)
- PROPOSED GRAVEL PAVING TO 150mm DEPTH APPROX. AREA: 90m² (970 #2)
- PROPOSED COURSE CEDAR OR FIR BARK MULCH NATURAL COLOUR 75mm (3" DEPTH) WITH GEOTEXTILE FABRIC APPROX. AREA: 110m² (1,185 #2)
- PROPOSED TURF GRASS APPROX. AREA: 315m² (3,390 #2)
- LOCAL LAUSEDATT STONE FEATURE BOULDERS / LOW RETAINING WALL APPROX. 500mm HT x 1500mm L x 500mm W QUANTITY: 8
- PROPOSED VEGETATION - TREES + SHRUBS REFER TO VEGETATION PALETTE, SHEET L1.1
- PROPOSED RESIDENTIAL ENTRY/EXIT - REFER TO ARCHITECTURAL PLANS

- GENERAL NOTES:**
- CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING UTILITIES AND SERVICES, BC ONE CALL 1-800-474-8888.
 - ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE TOWN OF GOLDEN ZONING BYLAW, AND THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) REQUIREMENTS.
 - CONTRACTOR SHALL VERIFY SITE CONDITIONS PRIOR TO DEMOLITION OR CONSTRUCTION.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO ENGINEER OR LANDSCAPE ARCHITECT. PROPERTY LINES TO BE VERIFIED PRIOR TO CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE TO COORDINATE THE STAGING OF CONSTRUCTION ACTIVITIES AND WORK WITH ALL OTHER CONTRACTORS ONSITE, INCLUDING IRRIGATION SLEEVING AND WEEPING TILE DOWNSPOUT LOCATIONS PRIOR TO HARDSCAPE INSTALLATION.
 - THE LANDSCAPE ARCHITECT WILL BE NOTIFIED MIN. 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
 - THE QUANTITIES LISTED ARE ESTIMATES. CONTRACTOR TO VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO ENGINEER OR LANDSCAPE ARCHITECT.
 - ANY CHANGES OR ALTERATIONS TO DRAWINGS SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
 - CONTRACTOR TO CONFIRM ELEVATION, LOCATION, AND GRADIENT OF SURROUNDING GRADES AND PROVIDE A SMOOTH TRANSITION.
 - CONTRACTOR TO BE REGISTERED WITH WORKSAFE BC.
- PLANTING NOTES:**
- REFER TO PLANT SCHEDULE FOR DETAILED SPECIES INFORMATION L1.1. NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.
 - CONFINE EQUIPMENT AND WORKERS TO LIMIT OF DISTURBANCE.
 - TURF OR GRASS SEED TO BE PLANTED ADJACENT TO DISTURBED AREAS AND OTHER AREAS OF NEW CONSTRUCTION.
 - PLANT MATERIAL SHALL MEET ALL REQUIREMENTS OF THE LATEST EDITION OF THE CANADIAN NURSERY TRADES ASSOCIATION GUIDE SPECIFICATIONS FOR NURSERY STOCK UNLESS OTHERWISE SPECIFIED.
 - SUPPLY 75mm OF NATURAL COLOUR CEDAR OR FIR BARK MULCH TO ALL PROPOSED TREE AND SHRUB BEDS.
 - INSTALL 150mm MIN. DEPTH TOPSOIL IN AREAS TO BE SOD OR SEED.
 - TREES AND SHRUBS TO BE GUARANTEED FOR 2 GROWING SEASONS BY CONTRACTOR. ALL REPLACEMENTS TO BE AT CONTRACTOR'S EXPENSE. SUBSTITUTIONS TO BE APPROVED BY LANDSCAPE ARCHITECT.
- TOPSOIL NOTES:**
- GROWING MEDIUM FOR ALL TREE, SHRUB, AND NATIVE/ORNAMENTAL GRASS BEDS IS TO MEET THE CANADIAN LANDSCAPE SPECIFICATION UNDER THE DESIGNATION 2P.
 - GROWING MEDIUM SHOULD BE CERTIFIED TO ITS ORIGIN AND VIRTUALLY FREE OF INVASIVE PLANT SEEDS, THEIR REPRODUCTIVE PARTS AND ROOTS, BUILDING MATERIALS, INVASIVE OR NOXIOUS PLANTS, NON COMPOSTED WOOD, WOOD WASTE, INSECT PESTS, PLANT PATHOGENIC ORGANISMS, CHEMICAL POLLUTANTS OR SUBSTANCES AT LEVELS TOXIC TO PLANTS, AND OTHER EXTRANEOUS MATERIALS THAT DETRACT FROM DESIRABLE PHYSICAL AND CHEMICAL PROPERTIES REQUIRED FOR LANDSCAPING PURPOSES.
- LOAM: NATURAL, FERTILE, FRIABLE, AGRICULTURAL SOIL MEETING FOLLOWING REQUIREMENTS:**
- NOT LESS THAN 6% ORGANIC MATERIAL.
 - PH VALUE RANGING FROM 5.0 TO 7.0.
 - NON-TOXIC TO PLANT GROWTH.
 - E.C. - SALINITY READING NOT EXCEEDING 1.5.
 - SOIL TEXTURE: LOAM SOIL AS DEFINED BY CANADIAN SYSTEM OF SOIL CLASSIFICATION.
- PEAT MOSS: DECOMPOSED PLANT MATERIAL, FAIRLY ELASTIC AND HOMOGENEOUS, FREE OF DECOMPOSED COLLOIDAL RESIDUE, WOOD, SULPHUR, AND IRON. MINIMUM OF 80% ORGANIC MATTER BY MASS, PH VALUE BETWEEN 4.5 AND 6.0.**
- SITE: PREPARED GROWING MEDIUM: SPREAD 50 MM PEAT MOSS AND 100 MM OF SAND EVENLY OVER EXISTING SUBGRADE. MIX THE SPREAD MATERIALS THOROUGHLY TO 150 MM DEPTH BY CULTIVATING OR ROTO-TILLING OR BY HAND METHODS.**

- IRRIGATION NOTES:**
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THE WORKS
LANDSCAPE PLAN

LOCATION:
904 10TH STREET NORTH
GOLDEN, BC

LEGAL DESCRIPTION:

CONTEXT MAP:

CLIENT/DEVELOPER:

The WORKS
in Golden, BC

HR PACIFIC
construction management
HR PACIFIC CONSTRUCTION MANAGEMENT
DAVID RATZLAFF
T: 250.344.4999
E: davidr@hrpacific.com

LANDSCAPE ARCHITECT **BCSLA 563**

LARCH
LANDSCAPE ARCHITECTURE | AUTHENTIC MOUNTAIN DESIGN
GOLDEN, BC 250.938.7337

STAMP

NOTE: ORIGINAL SIZE ANSI D (22x34")
APPROX. HALF SIZE SET IF PLOTTED ON 11x17" SIZE SHEET

0 1.5 4.5 7.5m

NORTH **SCALE 1:150**

ISSUED FOR: DEVELOPMENT PERMIT

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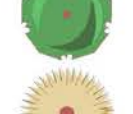
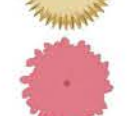
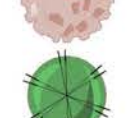
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6.	REVISED SITE PLAN		2023-03-22	JJ
7.	REVISED SITE PLAN		2025-10-22	JJ

DESIGNED BY: JJ

DRAWING TITLE:
LANDSCAPE SITE PLAN

L-1.0

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	CAL	QTY
TREES					
	BET FAR	Betula platyphylla 'Fargo'™ / Dakota Pinnacle Asian White Birch	-	50mm	1
	PIN VVO	Pinus sylvestris 'Pumila' / Dwarf Scotch Pine	1.0m HT.		2
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT		QTY
SHRUBS					
	CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	#2 CONT.		33
	COR RE5	Cornus sericea / Red Osier Dogwood	#2 CONT.		6
	DES BRO	Deschampsia cespitosa 'Bronzeschleier' / Tufted Hair Grass	#2 CONT.		9
	EUO COM	Euonymus alatus 'Compactus' / Compact Burning Bush	#5 CONT.		7
	PER ATR	Perovskia atriplicifolia / Russian Sage	#2 CONT.		3
	PHY COP	Physocarpus opulifolius 'Coppertina' / Coppertina Ninebark	#5 CONT.		9
	PHY LIT	Physocarpus opulifolius 'Tiny Wine' / Dwarf Ninebark	#2 CONT.		4
	PIN CO2	Pinus mugo 'Compacta' / Dwarf Mugo Pine	#2 CONT.		6
	RUD GO2	Rudbeckia fulgida sultivantii 'Goldsturm' / Black-eyed Susan	#2 CONT.		3

MBR-0400-00009

Legacy # MBR400-7-DB

MATERIALS: All parts of the MBR-0400 Series Bicycle Racks are made from H.S. Steel tube. This bike rack can hold up to 7 bicycles.

FINISH: All steel components are protected with E-Coat rust proofing. The Mag is PowderCoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bike racks are delivered pre-assembled. It is available with a direct burial installation.

TO SPECIFY: Select MBR-0400-00009
 Choose:
 - PowderCoat Color

HEIGHT: 32.75" (86.5cm)	LENGTH: 61.31" (156.5cm)	DEPTH: 1.83" (4.8cm)	WEIGHT: 37.69 lbs (17kg)
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MAGLIN™
 Life is a Journey

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1. 60% max. load
 2. 200 lbs max.
www.maglin.com
sales@maglin.com

COLOUR: GUN METAL GREY FINETEX

1 PROPOSED BIKE RACK DETAIL
L1.1 NTS - OR APPROVED EQUIVALENT

LEGEND

PROPERTY LINE

PROPOSED UNDERGROUND UTILITIES - REFER TO CIVIL & SITE SERVICING PLAN

PROPOSED BUILDINGS - REFER TO ARCHITECTURAL

PROPOSED CONCRETE PAVING PER CIVIL
APPROX. AREA: 166m² (1,785 ft²)

PROPOSED ASPHALT PAVING PER CIVIL
APPROX. AREA: 585m² (6,300 ft²)

PROPOSED GRAVEL PAVING TO 150mm DEPTH
APPROX. AREA: 50m² (570 ft²)

PROPOSED COURSE CEDAR OR FIRM BARK MULCH
NATURAL COLOUR 75mm (3" DEPTH) WITH
GEOTEXTILE FABRIC APPROX. AREA: 110m² (1,185 ft²)

PROPOSED TURF GRASS
APPROX. AREA: 315m² (3,390 ft²)

LOCAL LAUSSETAD STONE FEATURE BOULDERS / LOW
RETAINING WALL APPROX. 500mm HT x 1500mm L x
500mm W QUANTITY: 8

PROPOSED VEGETATION - TREES & SHRUBS
REFER TO VEGETATION PALETTE, SHEET L1.1

PROPOSED RESIDENTIAL ENTRY/EXIT - REFER TO ARCHITECTURAL PLANS

GENERAL NOTES:

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2. GROWING MEDIUM SHOULD BE CERTIFIED TO ITS ORIGIN AND VIRTUE OF BEING INVASIVE PLANT SEEDS, THEIR REPRODUCTIVE PARTS AND ROOTS, BUILDING MATERIALS, INVASIVE OR NOXIOUS PLANTS, NON COMPOSTED WOOD, WOOD WASTE, INSECT PESTS, PLANT PATHOGENIC ORGANISMS, CHEMICAL POLLUTANTS OR SUBSTANCES AT LEVELS TOXIC TO PLANTS, AND OTHER EXTRANEOUS MATERIALS THAT DETRACT FROM DESIRABLE PHYSICAL AND CHEMICAL PROPERTIES REQUIRED FOR LANDSCAPING PURPOSES.
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LANDSCAPE PLAN**

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CONTEXT MAP:



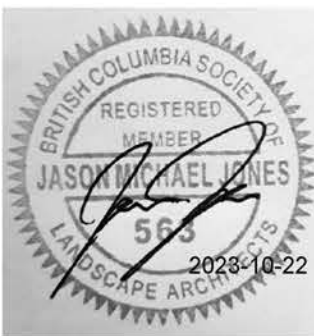
CLIENT/DEVELOPER:



LANDSCAPE ARCHITECT BCSLA 563



STAMP



NOTE: ORIGINAL SIZE ANSI D (22x34")
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NORTH SCALE 1:150

ISSUED FOR: DEVELOPMENT PERMIT

DATE: 2025-10-22

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DESIGNED BY: JJ

DRAWING TITLE :
PLANT SCHEDULE

L-1.1

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THE WORKS MIXED USE MULTI RESIDENTIAL - LANDSCAPE PLAN
Preliminary Estimate of Probable Costs

22-Oct-25

NO.	ITEM/DESCRIPTION	QTY	UNIT	UNIT \$	COMMENTS	TOTAL \$
1.00	HARDSCAPE + SITE FURNISHINGS					
1.01	Concrete Paving	143	SQ.M	N/A	125mm thick concrete paving with rebar or wire mesh. Broom finish with sawcut control joints at 1.5-2.0m O.C. - Included in Civil Scope for costing purposes.	N/A
1.02	Asphalt paving	585	SQ.M	N/A	Per Architectural and Civil	N/A
1.03	Feature Boulders	8	EA	\$350	Local stone boulders Lausedatt Stone, Rundle Stone, or equivalent as approved by Landscape Architect . Feature boulder selection and final placement to be in coordination with Landscape Architect. Approximately 600mm H x 1000mm L x 500mm W	\$2,800
1.04	Garbage/Recycling Containers	2	EA	N/A	3 Yard Bins as per direction from Town of Golden	N/A
1.05	Timber Screen and Shed Roof for Garbage Enclosure	1	ALLOW	N/A	Timber screen for garbage enclosure per contract documents. Not included in landscape cost.	N/A
1.06	Bike Racks	2	EA	N/A	Not included in landscope cost.	N/A
1.07	Gravel Paving	90	SQ.M	\$30	Supply and install gravel paving to min. 200mm depth.	\$2,700
	SUBTOTAL HARDSCAPE + SITE FURNISHINGS--					\$5,500
2.00	SOFTSCAPE					
2.01	Deciduous Trees	1	EA	\$900	Per plant schedule in contract documents and specifications. Includes 2 year warranty.	\$900
2.02	Coniferous Trees	1	EA	\$750	Per plant schedule in contract documents and specifications. Includes 2 year warranty.	\$750
2.03	Shrubs	32	EA	\$65	Per plant schedule in contract documents and specifications. Includes 2 year warranty.	\$2,080
2.04	Native and Ornamental grass specimen plantings	42	EA	\$35	Per plant schedule in contract documents and specifications. Includes 2 year warranty.	\$1,470
2.05	Perennial Flower and Forb Species	3	EA	\$25	Per plant schedule in contract documents and specifications. Includes 2 year warranty.	\$75
2.06	Bark Mulch and Topsoil	110	SQ.M	\$15	Course natural colour Fir bark mulch including landscape fabric underlay.	\$1,650
2.07	Turf Grass	315	SQ.M	\$25	Includes supply and installation of 150mm topsoil, grading and install of Grass Seed Mix	\$7,875
2.08	Irrigation	1	ALLOW	\$7,500	Micro or Dripline Irrigation System. Design Build by contractor to be reviewed and approved by Landscape Architect.	\$7,500
	SUBTOTAL SOFTSCAPE--					\$22,300
	ESTIMATED TOTAL					\$27,800

Notes:

- This is a preliminary opinion of probable costs, not a guaranteed cost figure.
- This cost estimate is based on detailed design plans 2025-10-22.
- Cost estimate does not include; haulage, maintenance, unforeseen site conditions, and other costs associated with construction phasing and staging.
- All costs include supply and installation unless otherwise noted.
- All costs are exclusive of GST.



LEGEND

- PROPERTY LINE
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HR PACIFIC
construction
management

The
WORKS

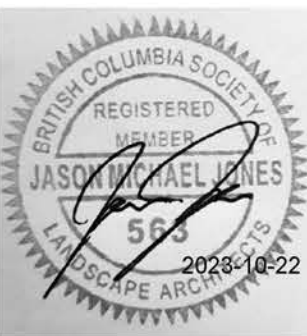
in Golden, BC

HR PACIFIC CONSTRUCTION MANAGEMENT
DAVID RATZLAFF
T: 250.344.4999
E: davidr@hrpacific.com

LANDSCAPE ARCHITECT BCSLA 563



STAMP



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DESIGNED BY: JJ

DRAWING TITLE :
PRELIMINARY OPINION OF
PROBABLE LANDSCAPE
COST

L-1.2

To: **Town of Golden** Date: **September 15, 2026**

Attention: **Phil Armstrong, RPP, MCIP – Director of Planning and Development** Project No.: **62323 – B05**

Cc: **Chris Cochran, ASCT, Director of Public Works/DCAO.**

Reference: **Suggested Contribution Methodology for Sewer Pipe Upsizing — Kicking Horse Drive Sanitary Sewer Catchment (The Works Referral)**

From: **Andrew Baird, P.Eng. Manager, East Kootenay Office**

1.0 Introduction and Background

This memorandum has been initiated by a development application for “The Works”, a development proposed at 904 10th St. North in Golden, BC. **Figure 1.1** below shows the proposed development Location and sewer mains under review as part of this memorandum).



Figure 1.1 904 10th St. North Golden BC (The Works) Project Location

The applicant would like to proceed with development of their property; however, ISL's review of the Sanitary Sewer Master Plan hydraulic model indicates that the peak wet weather flow (PWWF) depth in the sewer mains downstream of the Catchment already exceeds a depth-to-diameter (d/D) ratio of 0.75. Given the Town's design criteria under Bylaw 1223, Schedule E, Section 2.1, the affected sewer main should be upsized where a development is expected to cause this threshold to be exceeded. Subject to the comments below, consideration

should be given to the Town requiring the applicant to upsize the sewer main as an excess or extended service under the provisions of the Local Government Act.

Design Flow Q (=PWWF) = population and equivalent x per capita flow x peaking factor + infiltration allowance.

Pipe sizes shall be selected so that sewers flow 2/3 to 3/4 full at peak hour design flow.

See **Figure 1.2 below** indicating the Existing Conditions prior to the connection of the Works Development. A hydraulic profile for this scenario is provided as an attachment to this memorandum.

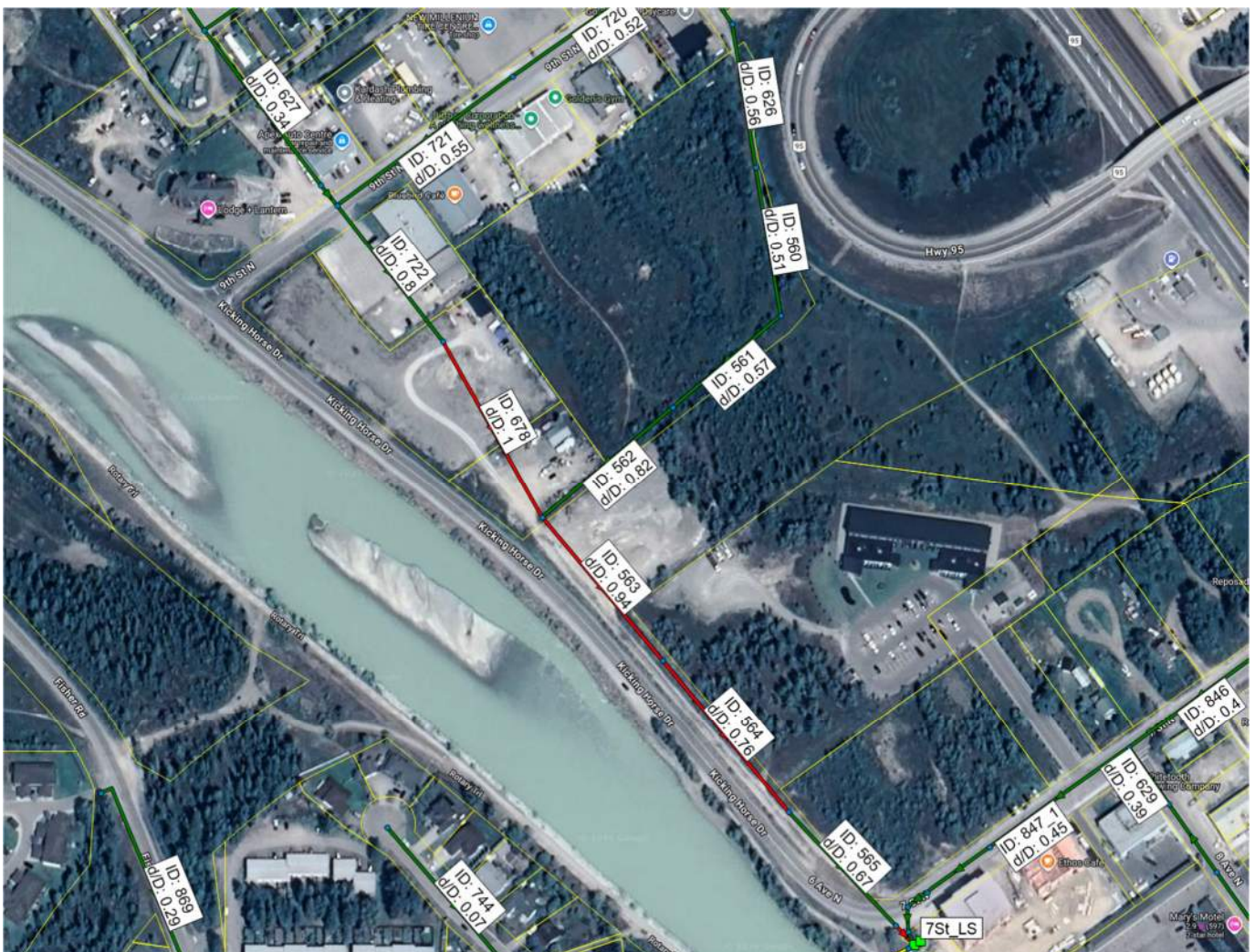


Figure 1.2 Downstream sewer pipes from The Works

The Works' own flow contribution (0.45 L/s) is minor relative to both the existing flows in the system (39.8 L/s) and the flows anticipated from other future development in the catchment (notably 1000 Kicking Horse Drive). The applicant may consider the full cost of upsizing the sewer main to be cost prohibitive relative to the scale of their

development. Per Master Municipal Construction Documents (MMCD) Design Guidelines Section 3.10, a trunk sewer may be designed such that its d/D is greater than 0.8 if confirmed by the local authority which includes confirmation that no service connections are connected to the impacted pipes. Based on this, the Town has discretion to accept this additional flow provided the resulting d/D ratio remains below 1.0 (i.e., the pipe is not surcharged). On this Basis, and noting that no immediate adverse impacts are anticipated from these pipes flowing with a d/D between 0.8 and 1.0, it is suggested that, rather than requiring The Works to physically upsize the main as an excess or extended service, the Town could consider allowing the connection if the applicant is prepared to provide a monetary contribution toward the eventual upsizing, sized in proportion to their share of the demand on the system. This memorandum describes a suggested methodology for calculating that contribution, so that a future developer whose connection would trigger a d/D ratio of 1.0 is not left solely responsible for the full cost of upsizing the pipes in question.

In reviewing the additional flows added to the system by the modest increase in flows from The Works all the pipes in question are less than or equal to d/D of 1 as shown in **Figure 1.3**. A hydraulic profile for this scenario is provided as an attachment to this memorandum.

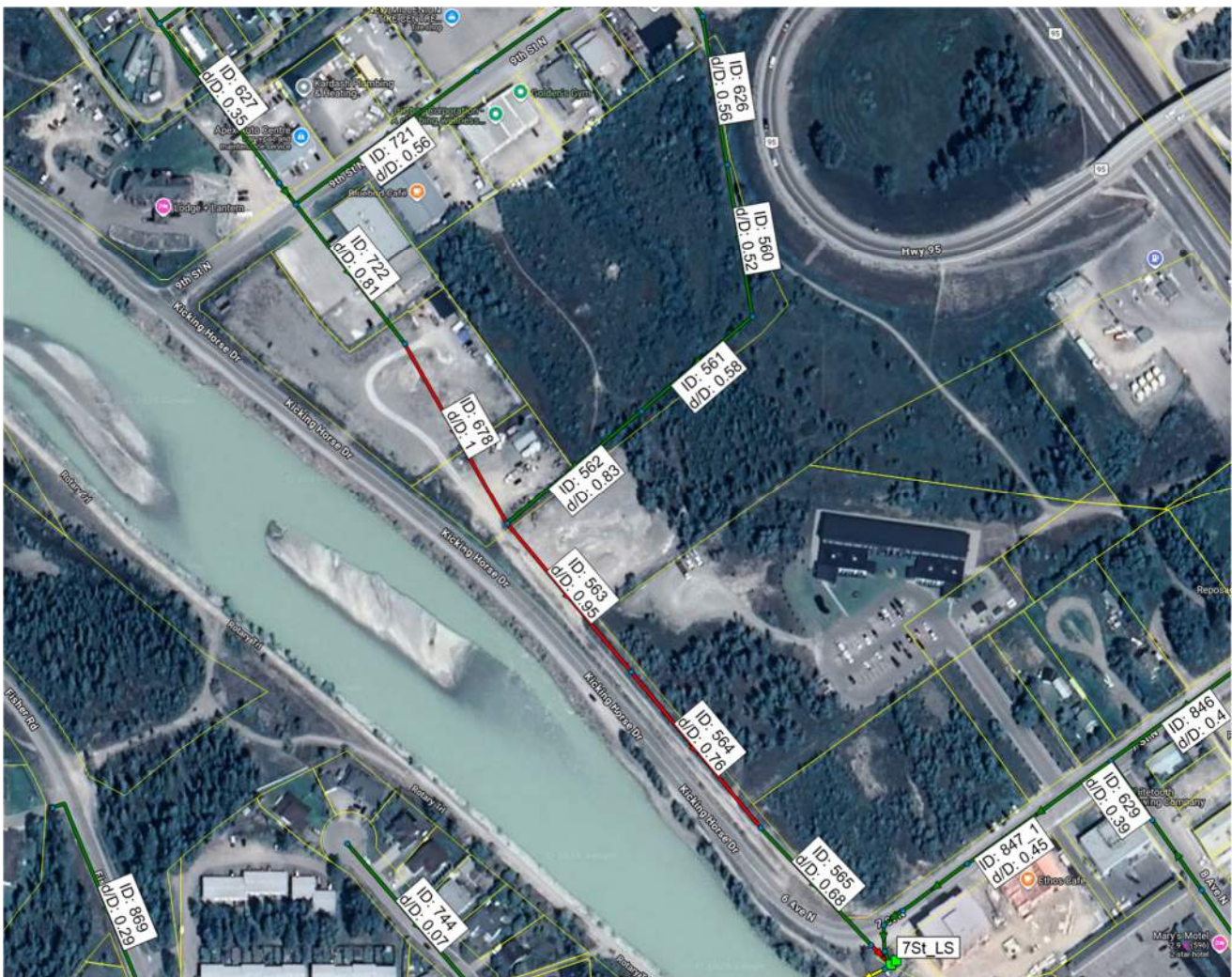


Figure 1.3 Downstream sewer pipes from The Works including flow contribution from The Works

Important to note that Pipe ID's 678 and 562 are both impacted by a backwatering effect as such proposed upgrades to the downstream pipes will resolve the deficiency noted in **Figure 2.1**.

The Town could allow the Works to connect to the existing sanitary system on the condition that a funding mechanism be established to support a future upsizing of the affected mains (pipe IDs 563 and 564, with pipes 565 and 566 also recommended for upsizing as a matter of good engineering practice and consistent with Bylaw 1223, Schedule E, Section 2.3, which states: "The minimum pipe size for all sewer mains shall be 200mm. No reduction of pipe size shall be made downstream irrespective of pipe grade."). A Class C cost estimate was prepared for the Kicking Horse Drive sanitary main replacement, covering the 427 linear metres sewer main described here and upsizing to a 375 mm PVC main, with a total estimated cost of approximately \$1,354,000 (Town of Golden Sanitary Master Plan Appendix D, 2024 unit rates).

The methodology recommended in this memorandum is based on the philosophy that growth should pay for growth, which reflects the direction the Town has indicated it is taking for development and growth-related infrastructure projects generally. Accordingly, this memorandum focuses on a single recommended contribution approach and does not present alternative approaches that would allocate costs on a different basis.

2.0 Proposed Upgrades

To accommodate the total anticipated future flow addition in the catchment (14.45 L/s, comprising 12 L/s from 1000 Kicking Horse Drive, 0.45 L/s from The Works and 2 L/s from anticipated other future development), upsizing the affected mains to 375 mm PVC is anticipated to reduce the resulting d/D ratios near or below the 0.8 threshold in the MMCD design guidelines with the exception of Pipe 678, but above the 0.75 once the total future flow is accounted for. The upsized sewers will resolve the backwatering-related deficiencies noted at pipe IDs 678 and 562 in **Figure 1.3**. To restore additional long-term hydraulic capacity to the catchment area beyond what is required to service the identified future contributors, it is recommended that the minimum size of sanitary main is 450 mm. The additional size beyond what is recommended in the Town's master plan is largely driven by the addition of the development at 1000 Kicking Horse Drive, currently anticipating to add 12 L/s of sanitary flows. **Figure 2.1** below summarizes the results for the hydraulic model with a 375mm upgrade from 9th Street to the 7th Street lift station. A hydraulic profile for this scenario is provided as an attachment to this memorandum.

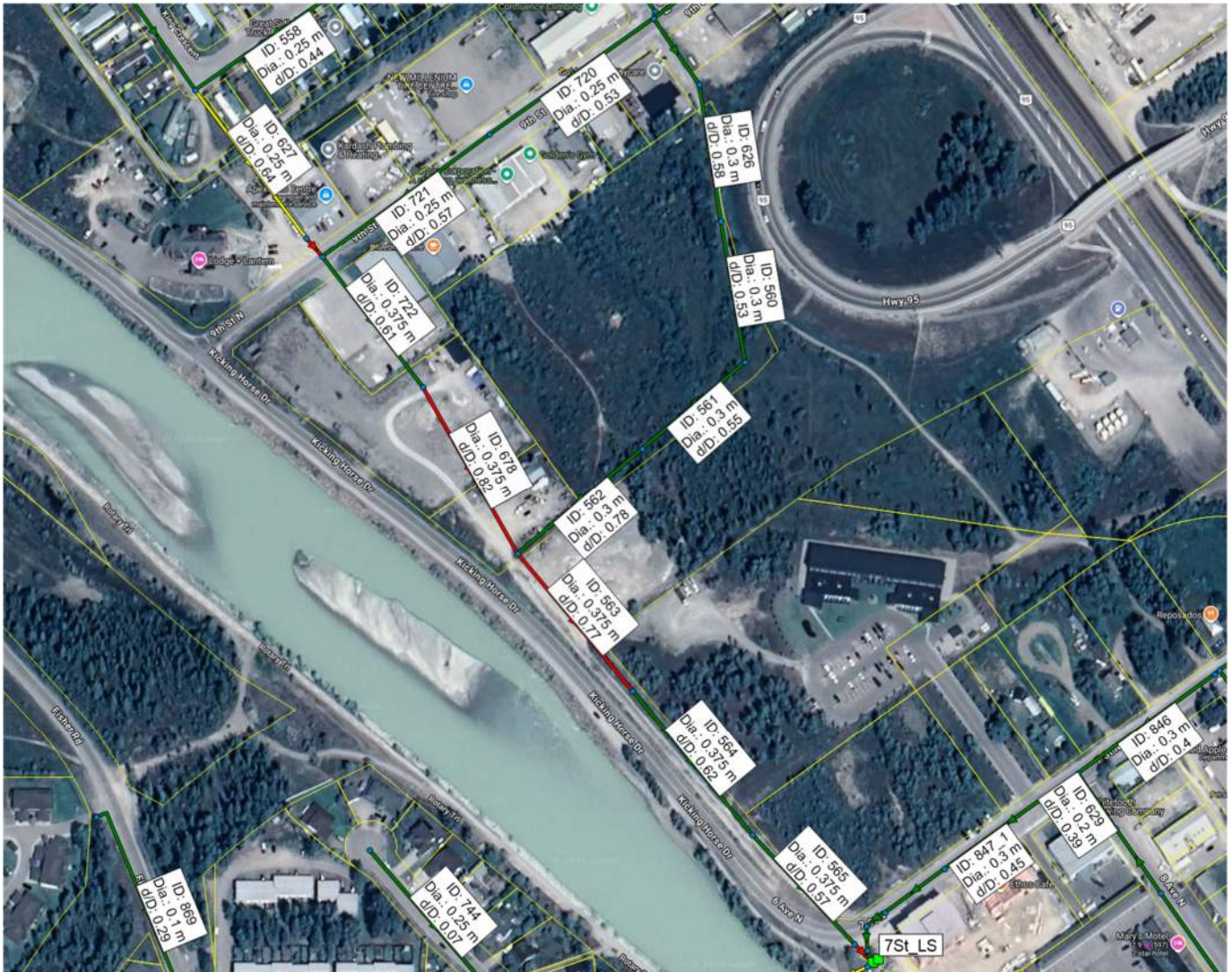


Figure 2.1 Downstream sewer pipes from The Works including flow contribution from all anticipated future development in the catchment (Additional flow 14.45 L/s) and proposed upscale to 375 mm.

Notwithstanding the recommendation to size the main at 450 mm, it is proposed that, at this stage, the Works' cost contribution continue to be based on the 375 mm upscale cost estimate, for the following reasons:

- The Works' contribution to future flows does not, on its own, push the pipe past the threshold that would require upsizing to the next standard size (i.e., 450 mm).
- The cost difference between a 375 mm and 450 mm main is relatively minor in the context of this contribution, particularly given that the Works is currently estimated to contribute only approximately 3.1% of the total upgrade cost.
- The 375 mm diameter is the value carried in the Town's Sanitary Sewer Master Plan and is a figure already accepted by the Town. Through detailed design, pipe sizing may be revisited through adjusting the grade of the sewer.

3.0 Basis of Contribution Methodology

Given the recommended future upsizing in sewer mains described above the recommended contribution methodology allocates the cost of the sewer main upsizing based on each contributor's proportional share of the future growth-related flow increase in the catchment area, rather than on the basis of existing system deficiencies or unrelated aging-infrastructure upgrades. In practical terms, the upsizing is being triggered by this and anticipated future development; the contribution approach accordingly attributes responsibility for that cost to the developments generating the additional flow, in proportion to each development's estimated contribution. This is consistent with a "growth pays for growth" principle observed by the Town, under which the cost of new or upsized infrastructure required to serve growth is recovered from the developments that create the need for it, rather than from the existing tax base or ratepayers.

4.0 Recommended Methodology

Under the suggested methodology, each contributor's contribution is calculated as that contributor's estimated future flow divided by the total future flow increase anticipated in the catchment (i.e., the sum of all identified future contributors). This approach considers only the incremental future flow associated with growth and does not include the catchment's existing flow in the calculation. As a result, the Town is not allocated a cost share for the upsizing, on the basis that the upsizing.

The general form of the calculation is:

Contributor's Cost Share (%) = Contributor's Estimated Future Flow (L/s) ÷ Total Future Flow Increase (L/s)

5.0 Flow Calculation Assumptions

For the purpose of this memorandum, the following future flow assumptions as described above have been used to represent the anticipated growth-related contributors to the Kicking Horse Drive catchment. These figures are based on a combination of existing applicant-submitted servicing information and informed judgement regarding potential future development within the catchment suggested by Town Staff.

Table 5.1 Project Flow Contributions

Future Flow Contributor	Estimated Flow (L/s)	Share of Total Future Flow Increase	Source / Basis
1000 Kicking Horse Drive	12.00	83.0%	Applicant-submitted servicing information
The Works	0.45	3.1%	Applicant-submitted servicing information
Anticipated Other Future Development	2.00	13.8%	Informed estimate; Town/ISL Input
Total Future Flow Increase	14.45	100%	Sum of above

It is noted that the estimate for "Anticipated Other Future Development" (2 L/s) is an informed placeholder intended to capture gradual intensification or other unnamed development within the catchment; it has not been derived from a specific, confirmed development application, and should be revisited if a specific proposal or updated Master Plan growth projection becomes available.

6.0 Contribution Approach

Applying the suggested methodology, each contributor's share of the growth-related cost of the sewer main upsizing is calculated in proportion to its share of the total future flow increase of 14.45 L/s. The Class C order of magnitude cost estimate of \$1,354,000 (2024 unit rates) has been escalated to 2026/2027 dollars to better reflect anticipated construction-year costs, using the B.C. Ministry of Transportation and Transit approved Highway Construction Cost index (Capital Program Board April 2023). Applying the index ratio for fiscal 2026/2027 relative to fiscal 2023/2024 yields an escalated estimate of approximately \$1,454,000. The table below illustrates the contribution allocations using this escalated figure.

Table 6.1 Projected Cost Sharing Allocation*

Contributor	Share of Growth-Related Cost	Contribution(2024 Unit Rates)	Contribution (2026/2027 escalation)**	Notes
1000 Kicking Horse Drive	83.0%	\$1,124,000	\$1,207,000	Subject to future development agreement.
The Works	3.1%	\$42,000	\$46,000	Payable as a condition of connection/servicing approval
Anticipated Other Future Development	13.8%	\$187,000	\$201,000	Subject to future development agreement.
Total	100%	\$1,354,000	\$1,454,000	Class C (order-of-magnitude) estimate, 2024 unit rates, excl. GST / 2026-2027 escalation.

*contributions are rounded to the nearest \$1,000 based on a preliminary Class C cost estimate (2024 unit rates).

**Contributions are escalated to 2026/2027 dollars using the B.C. Ministry of Transportation and Transit's Highway Construction Cost Index as a general construction-cost escalation proxy, and are provided to demonstrate the proportional allocation method. This index reflects general government construction cost trends rather than sewer/water-specific cost data, and its 2023/24–2026/27 values are forecasts rather than tendered actuals.

7.0 Implementation Considerations

This particular sewer main is understood not to be part of a future development cost charge (DCC) project; on that basis, and as an alternative to requiring the applicant to upsize the sewer main as an excess or extended service the upsizing contribution described in this memorandum is intended to be secured through a separate mechanism rather than through the Town's DCC program. However, the exact legal wording, mechanism and recovery approach used to secure and collect this contribution should be reviewed and confirmed with the Town's legal counsel before it is finalized, including the applicable recovery period and the process for collecting contributions from future developments.



8.0 Conclusion / Recommendations

ISL recommends that the Town consider as an alternative to requiring the upsizing of the sewer main as an excess or extended service, a mechanism for collecting a cost contribution from The Works, at the time of development, toward the future upsizing of the Kicking Horse Drive sanitary sewer main, using the cost recouperation strategy described in this memorandum as the basis for calculating that contribution. Under this approach, The Works' share of cost is determined in proportion to its share of the total anticipated future flow increase in the catchment. The funds collected from The Works would be held by the Town and applied toward the sewer main upsizing once it is triggered by future growth. This approach reflects direction already provided by the Town, ties financial responsibility to hydraulic impact, and provides a clear, defensible basis for collecting and holding the contribution in advance of the upgrade being required.

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Attachments:

- Kicking Horse Drive Sanitary Main Replacement Class 'C' Cost Estimate (Sanitary Master Plan Appendix D, Urban Systems)
- Hydraulic Profile – 'The Works' to 7th Street Lift Station

Kickinghorse Drive - Sanitary Main Replacement - Class C Cost Estimate

Remove existing sanitary mains and replace with 375mm in Kickinghorse Drive

Road: Kickinghorse Drive

Length: 427 l.m.

ITEM	DESCRIPTION	UNIT	ESTIMATED QUANTITY	UNIT PRICE	TOTAL
SCHEDULE "A" - EARTHWORKS					
A.1	Remove and Dispose of Existing Asphalt	s.m.	270	\$ 31.00	\$ 8,370.00
A.2	Subgrade Preparation	s.m.	270	\$ 5.90	\$ 1,593.00
A.3	Granular Sub-base and Base Placement				
a)	75mm Minus Granular Sub-base - 400mm depth	s.m.	270	\$ 42.00	\$ 11,340.00
b)	25mm Minus Granular Base - 125 mm depth	s.m.	270	\$ 26.00	\$ 7,020.00
A.4	Gravel Road Restoration - Sub-base and Base Gravel	s.m.	2400	\$ 68.00	\$ 163,200.00
A.5	Remove Gravel Stockpile to Temporary Stock Pile	c.m.	14000	\$ 7.80	\$ 109,200.00
Subtotal Schedule "A"					\$ 301,000.00
SCHEDULE "B" - SURFACE WORKS					
B.1	Prime Coat	s.m.	270	\$ 7.00	\$ 1,890.00
B.2	Tack Coat	s.m.	270	\$ 7.00	\$ 1,890.00
B.3	Asphalt Pavement Placement				
a)	Lower Course - 60mm depth	s.m.	270	\$ 52.00	\$ 14,040.00
b)	Upper Course - 40mm depth	s.m.	270	\$ 42.00	\$ 11,340.00
B.4	Paint Marking Placement	l.s.	1	\$ 2,000.00	\$ 2,000.00
Subtotal Schedule "B"					\$ 32,000.00
SCHEDULE "C" - SANITARY					
C.1	Remove Existing Mains	l.m.	427	\$ 20.00	\$ 8,547.00
C.2	Supply and install 375mm PVC DR 35 Main				
a)	2-3m Depth	l.m.	112	\$ 816.00	\$ 91,392.00
b)	3-4m Depth	l.m.	213	\$ 916.00	\$ 195,108.00
c)	4-5m Depth	l.m.	102	\$ 1,016.00	\$ 103,987.60
C.3	Remove and Replace Existing Manhole	ea.	5	\$ 18,315.00	\$ 91,575.00
C.4	Sanitary Tie-in to existing manhole	ea.	1	\$ 4,500.00	\$ 4,500.00
C.5	Sanitary Tie-in to Existing Lift Station	ea.	1	\$ 4,420.00	\$ 4,420.00
C.6	Temporary Sanitary Bypass	l.s.	1	\$ 39,000.00	\$ 39,000.00
Subtotal Schedule "C"					\$ 539,000.00
SCHEDULE "A" - EARTHWORKS					\$ 301,000.00
SCHEDULE "B" - SURFACE WORKS					\$ 32,000.00
SCHEDULE "C" - SANITARY					\$ 539,000.00
SUBTOTAL (NOT INCL. GST)					\$ 872,000.00
Contingency (35%)					\$ 305,200.00
Engineering (15%)					\$ 176,580.00
TOTAL					\$ 1,354,000.00

Note:

1. This estimate is for 'order of magnitude' purposes only and is based on 2024 unit rates.
2. GST not included.
3. Legal and survey services and costs are not included.
4. Engineering fees (15%) and contingency (35%) are included.
5. Total costs are rounded up to the nearest thousand.